



Architectural Review Board Application Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 145 Horseshoe Drive Zoned R-3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Paver Patio, Freestanding Pergola, and Screen Wall

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Caroline & Fred Achard Phone 314 403 0222

Address 145 Horseshoe Drive

City, State, Zip Kirkwood, MO 63122

E-mail (Agenda will be e-mailed to applicant) fred@achard.us

PROPERTY OWNER

Name Caroline & Fred Achard Phone 314 403 0222

Address 145 Horseshoe Drive

City, State, Zip Kirkwood, MO 63122

ARCHITECT INFORMATION

Name Studio Lark Phone 314-698-2041

Address 118 East Jefferson Avenue, Suite 201

City, State, Zip Kirkwood, MO 63122

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Signature]
Applicant's Signature

12.20.21
Date

City Use Only

Received by TD

Agenda Date 01/03/2022

Case # 26-21R

Permit # 21-4013

Zoning Comments _____

Building Comments _____





Architectural Review Board Application Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): Freestanding Pergola
- Other (Please Specify): _____

Description of Work: New Paver Patio, Freestanding Pergola, and Screen Wall

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Midcentury Ranch

Number of Stories: 1 Building Height: 15.5' Number of Roof Lines: 3

Roof Type: Gable / Monopitch Primary Roof Pitch: 2:12

Secondary Roof Pitch: 4:12 Tertiary Roof Pitch: _____

2) Building Materials

Primary Exterior Wall Material: Board & Batten Wood Siding

Secondary Exterior Wall Material: N/A

Tertiary Wall Material N/A

Primary Roof Material: Asphalt Shingles

Secondary Roof Material: Asphalt Shingles

3) Exterior Windows and Doors

Type of Door: Wood Hinged / Sliders

Type of Window: Wood Casement Pane Arrangement: N/A

4) Detailing

Foundation Wall Covering: N/A

Location of Utility Equipment: East Facade

Screening of Utility Equipment: N/A

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

Achard Site Improvements

Project Summary

Property Address: 145 Horseshoe Drive, Kirkwood, Missouri 63122

Scope of Work: New Paver Patio & Freestanding Pergola

Zoning: R-3 Residential District

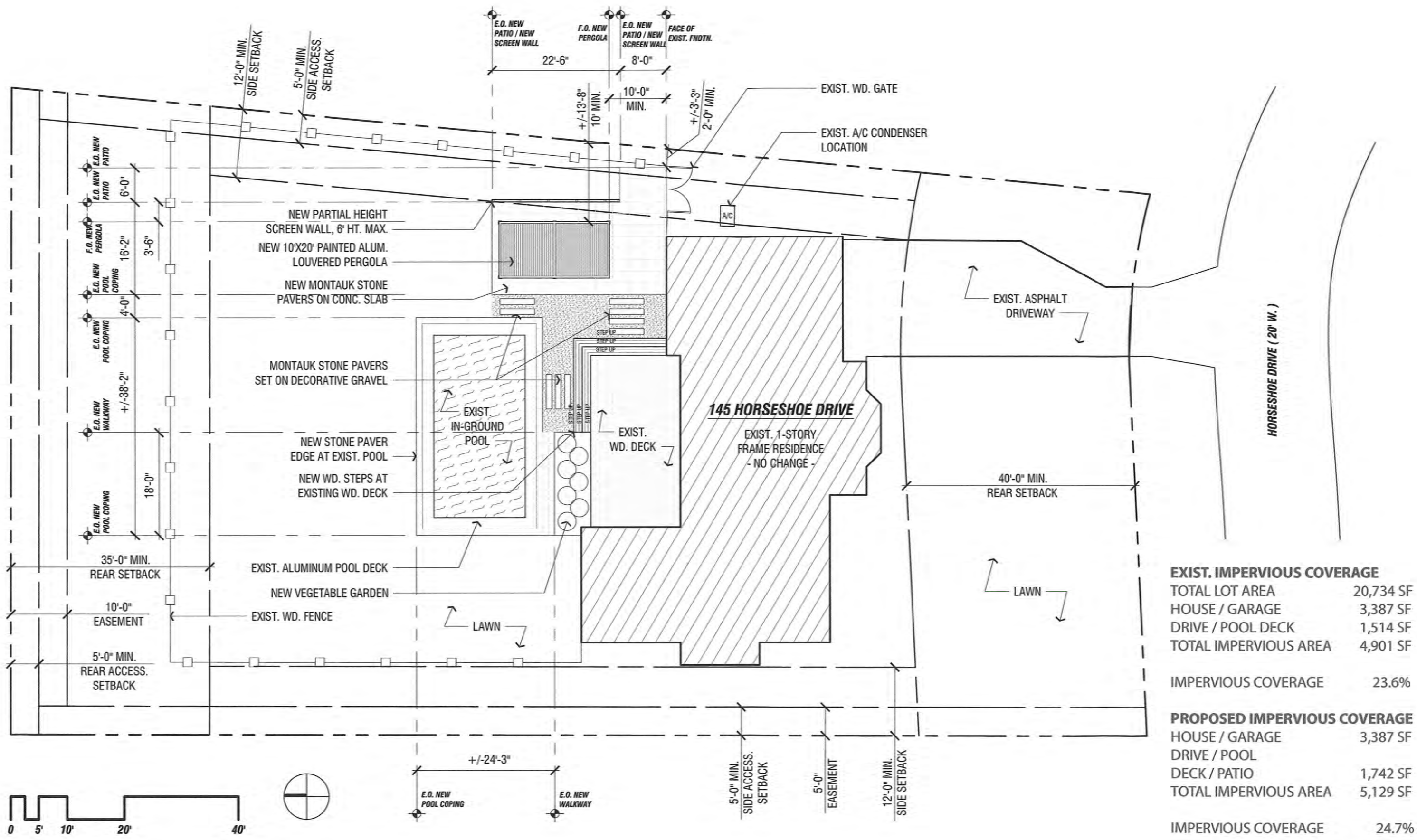
Firm Map: 29789C0308K, Revised February 4, 2015

- Property not located in designated flood area



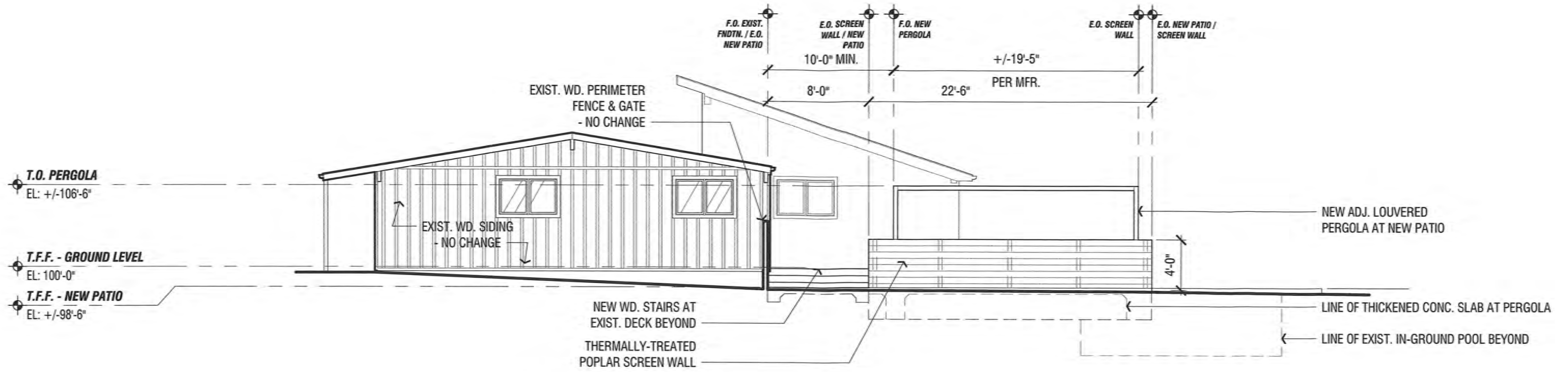
LOCATION MAP



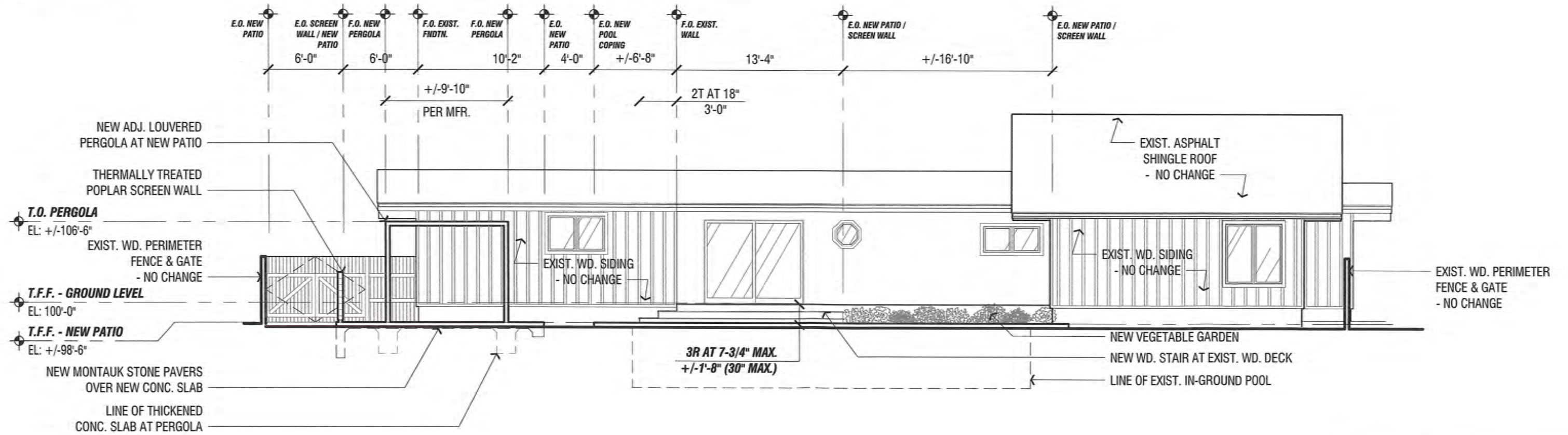


EXIST. IMPERVIOUS COVERAGE	
TOTAL LOT AREA	20,734 SF
HOUSE / GARAGE	3,387 SF
DRIVE / POOL DECK	1,514 SF
TOTAL IMPERVIOUS AREA	4,901 SF
IMPERVIOUS COVERAGE	23.6%
PROPOSED IMPERVIOUS COVERAGE	
HOUSE / GARAGE	3,387 SF
DRIVE / POOL DECK	1,742 SF
TOTAL IMPERVIOUS AREA	5,129 SF
IMPERVIOUS COVERAGE	24.7%

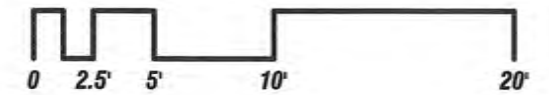
SITE PLAN



EAST ELEVATION



NORTH ELEVATION





EXISTING SOUTH ELEVATION (VIEW FROM HORSHOE DRIVE)



EXISTING NORTH ELEVATION (VIEW TOWARDS SOUTHEAST)

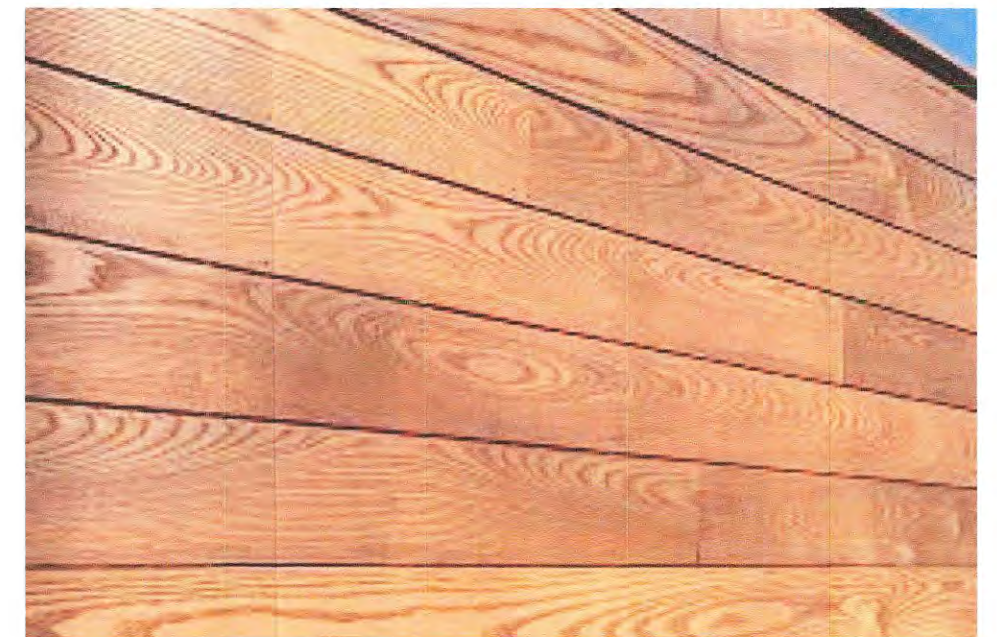
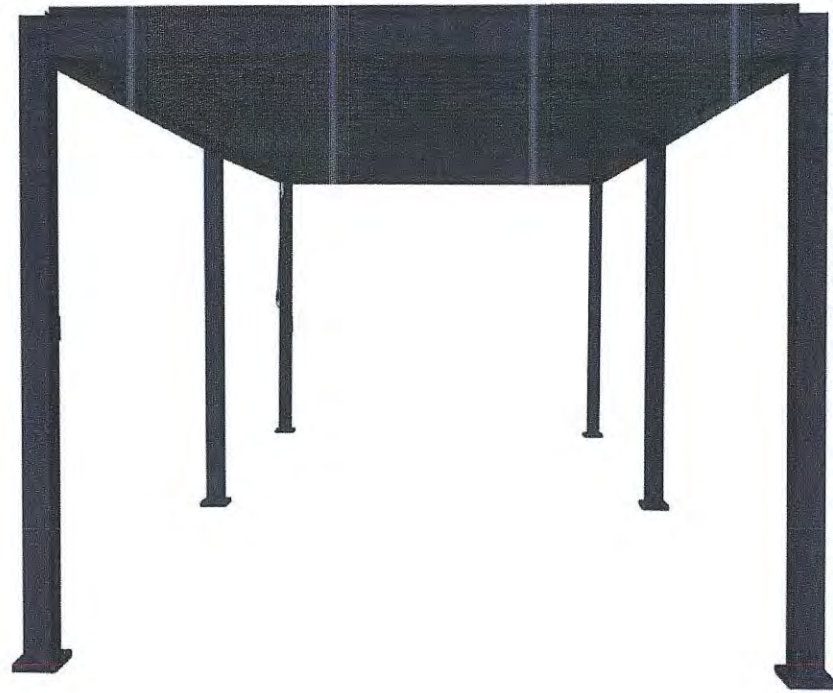


EXISTING SOUTH ELEVATION (VIEW TOWARDS SOUTHWEST)



EXISTING SOUTH ELEVATION (VIEW TOWARDS SOUTH)

PROJECT MATERIALS



ADJUSTABLE LOUVERED PERGOLA

MANUFACTURER: Sorara
MODEL: Mirador
SIZE: 10'X20' (nominal)
FINISH: Powder Coated Black

STONE PAVERS

MANUFACTURER: Mason Made
PRODUCT: Montauk Limestone
SIZE: 12x24 & 24x36
FINISH: Smooth

SCREEN WALL SIDING

MANUFACTURER: Cambia
PRODUCT: Thermally Treated Poplar (Toasty)
SIZE: 1x6
FINISH: Clear Coat



Architectural Review Board Application

Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 285 FRIEDA AVENUE Zoned R-3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work 2ND STORY ADDITION TO HOUSE

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT	
Name <u>MICHAEL REARDON</u>	Phone <u>314.809.2598</u>
Address <u>13 BELL TOWER CT.</u>	
City, State, Zip <u>ST. CHARLES, MO 63304</u>	
E-mail (Agenda will be e-mailed to applicant) <u>mreardon6319@yahoo.com</u>	
PROPERTY OWNER	
Name <u>SAME AS "APPLICANT"</u>	Phone _____
Address _____	
City, State, Zip _____	
ARCHITECT INFORMATION	
Name <u>SAME AS "APPLICANT"</u>	Phone _____
Address _____	
City, State, Zip _____	

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Applicant's Signature _____

9.30.21
Date

<p>City Use Only</p> <p>Received by <u>MR</u></p> <p>Agenda Date <u>12/20/2021</u></p> <p>Case # <u>189-21R</u></p> <p>Permit # <u>22-3205</u></p> <p>Zoning Comments _____</p> <p>Building Comments _____</p>	
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Architectural Review Board Application

Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: 2ND STORY ADDITION TO HOUSE

Section B: Site Context

1) Building Form and Articulation

Architectural Style: TRADITIONAL

Number of Stories: 2 Building Height: _____ Number of Roof Lines: 3

Roof Type: GABLE Primary Roof Pitch: 6:12

Secondary Roof Pitch: 18:12 Tertiary Roof Pitch: 2 1/2 : 12 & 1/4 : 12

2) Building Materials

Primary Exterior Wall Material: FIBER CEMENT SIDING

Secondary Exterior Wall Material: PORCELAIN TILE BASE

Tertiary Wall Material: FIBER CEMENT TRIM

Primary Roof Material: ASPHALT (ARCHITECTURAL) SHINGLES

Secondary Roof Material: —

3) Exterior Windows and Doors

Type of Door: FULL LITE ALUMINIUM

Type of Window: SINGLE HUNG CASEMENT Pane Arrangement: —

4) Detailing

Foundation Wall Covering: _____

Location of Utility Equipment: BACK YARD

Screening of Utility Equipment: NONE

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

285 FRIEDA AVENUE

Kirkwood, Missouri 63122

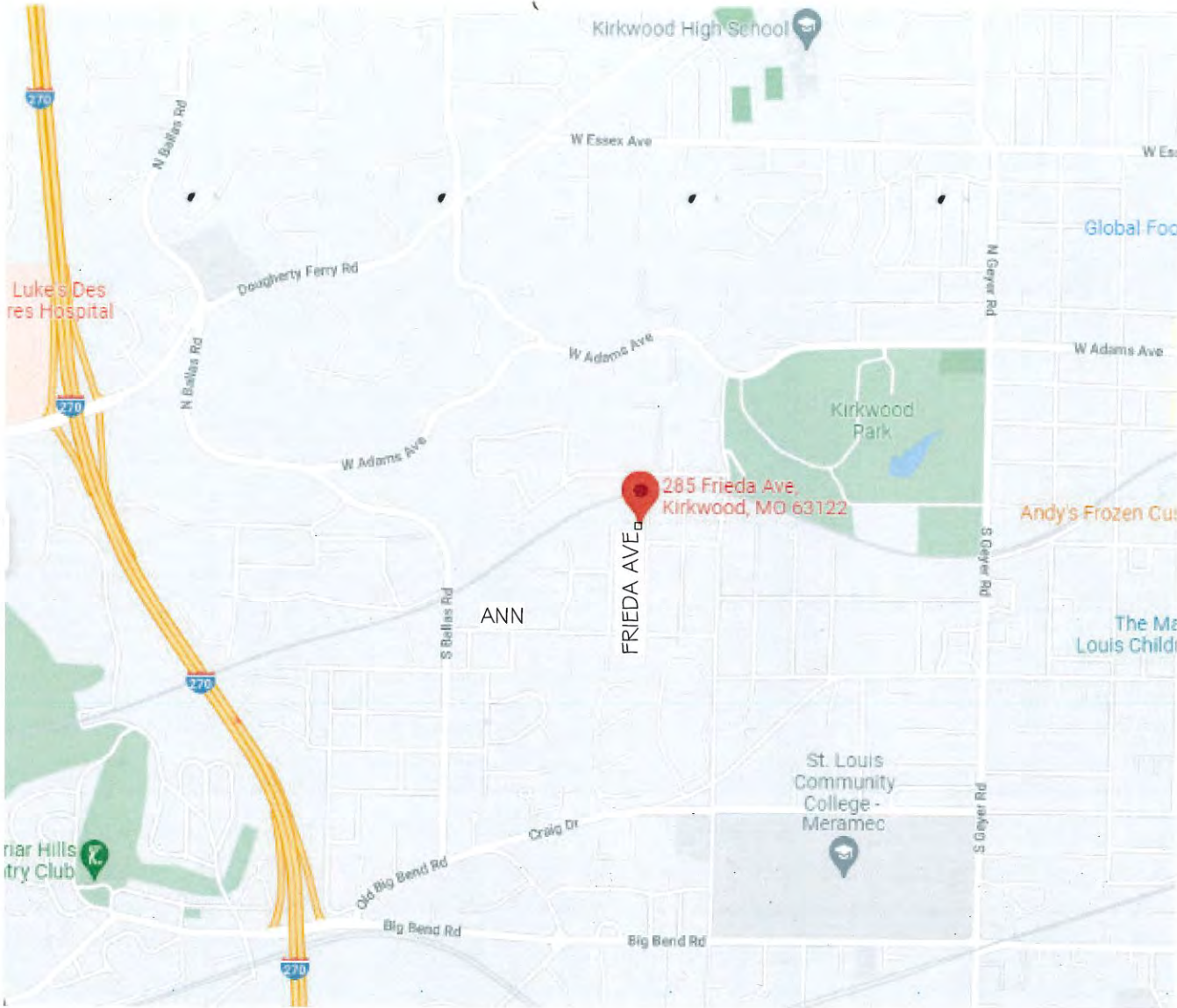
NOTES:

SITE AREA: 8000 SF
EXISTING IMPERVIOUS AREA: 3261 (41%)
PROPOSED IMPERVIOUS AREA: 3771 SF (47%)

HEIGHT OF PROPOSED HOUSE: 80'-10 1/2"
HEIGHT OF EXISTING DETACHED GARAGE: 14'-10 3/4"

BASEMENT FLOOR ELEVATION: 92'-2 3/4". THERE ARE NO SLEEPING ROOMS IN THE BASEMENT ALTHOUGH THERE IS A WALKOUT DOOR LEADING OUT OF THE BASEMENT.

NEW SIDEWALK FROM HOUSE TO DRIVEWAY IS 4' WIDE. WITH A 2% MAX. CROSS SLOPE.



LOCATION MAP



GENERAL INFORMATION

RECEIVED
DEC 30 2021
CITY OF KIRKWOOD
PUBLIC WORKS DEPARTMENT

285 FRIEDA AVENUE

Kirkwood, Missouri 63122



RENDERING- STREET VIEW

BOUNDARY AND IMPROVEMENT SURVEY

PART OF BLOCK 6 OF LOUISA HEIGHTS

PLAT BOOK: 6 PAGE: 48
ST. LOUIS COUNTY, MO

SUBDIVISION OF PARTS OF LOTS 6 AND 7 OF LOUISA HEIGHTS

PLAT BOOK: 66 PAGE: 9
LOT 9

PROPERTY N/F
D.B. 20100, PG. 3008

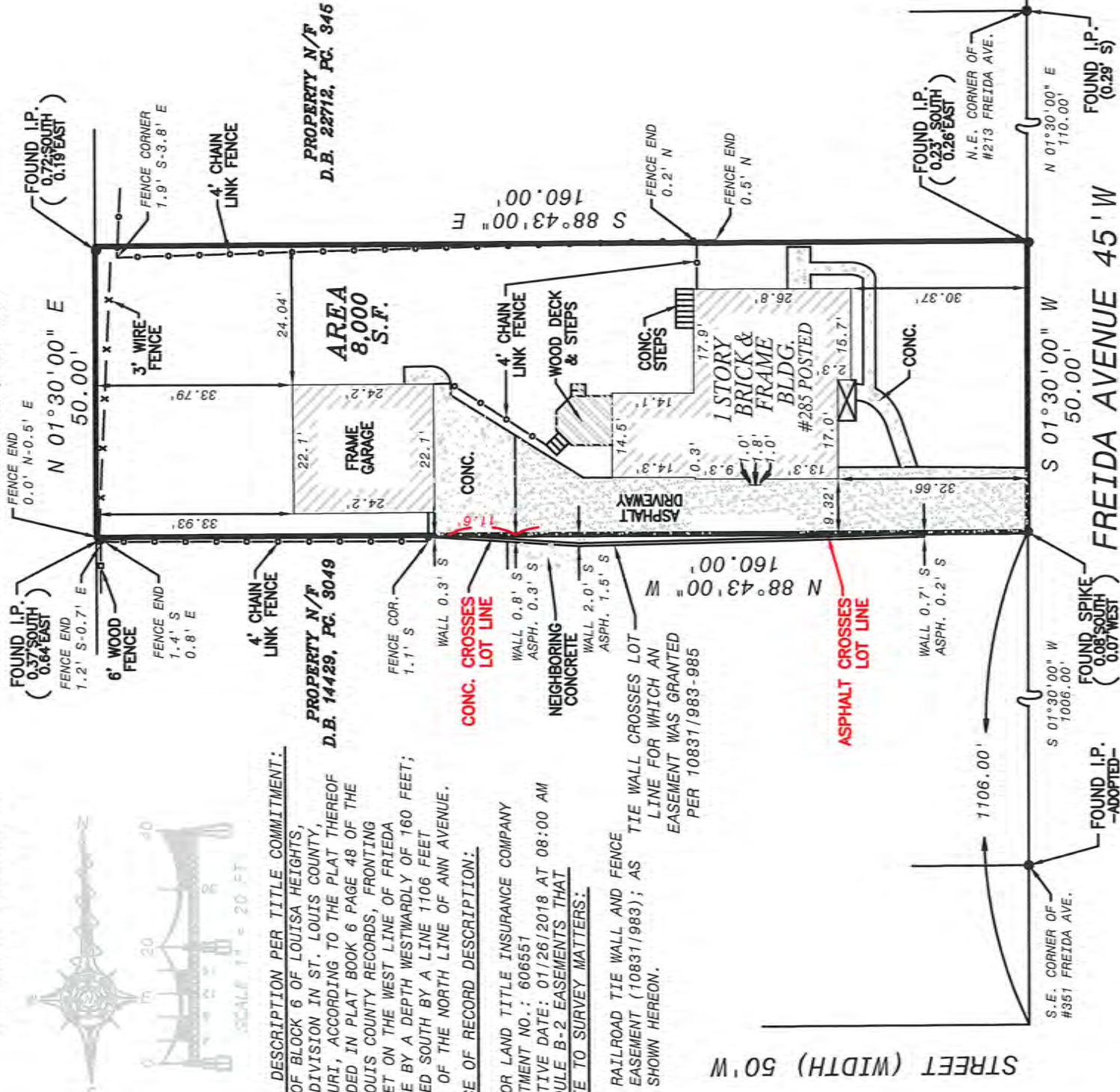
LEGAL DESCRIPTION PER TITLE COMMITMENT:

PART OF BLOCK 6 OF LOUISA HEIGHTS, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6 PAGE 48 OF THE ST. LOUIS COUNTY RECORDS, FRONTING 50 FEET ON THE WEST LINE OF FRIEDA AVENUE BY A DEPTH WESTWARDLY OF 160 FEET; BOUNDED SOUTH BY A LINE 1106 FEET NORTH OF THE NORTH LINE OF ANN AVENUE.

SOURCE OF RECORD DESCRIPTION:

WESTCOR LAND TITLE INSURANCE COMPANY
COMMITMENT NO.: 606551
EFFECTIVE DATE: 01/26/2018 AT 08:00 AM
SCHEDULE B-2 EASEMENTS THAT RELATE TO SURVEY MATTERS:

8) - RAILROAD TIE WALL AND FENCE EASEMENT (10831/983); AS SHOWN HEREON.



GENERAL NOTES:

I.P. = IRON PIPE I.R. = IRON ROD
(R) = RECORD (S) = SURVEYED (NR) = NON-RADIAL
SURVEYOR'S STATEMENT:

THIS IS TO CERTIFY TO STUART I. MULLAN AND JESSICA M. MULLAN, AND INVESTORS TITLE COMPANY, THAT AT THEIR REQUEST, MERIDIAN SURVEYING SERVICES LLC., HAS DURING THE MONTH OF FEBRUARY, 2018, EXECUTED A RESURVEY OF PART OF BLOCK 6 OF LOUISA HEIGHTS. A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 48 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, TOGETHER WITH THE LOCATION OF IMPROVEMENTS THEREON, IMPROVEMENT OWNERSHIP IS BASED OFF OF FIELD OBSERVATIONS THAT HAVE NOT BEEN VERIFIED WITH PROPERTY OWNER(S). THE FENCE OWNERSHIP IS NOT IDENTIFIED, FENCE HEIGHTS INDICATED ARE APPROXIMATE, UNLESS OTHERWISE INDICATED, FENCES INTERSECTING PROPERTY LINE(S) ARE CONNECTIVE IN NATURE, AND THAT THE RESULTS OF SAID RESURVEY ARE SHOWN ON THE ABOVE PLAT. THIS RESURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR AN URBAN CLASS PROPERTY. PRIOR TO ANY CONSTRUCTION, THE ZONING AUTHORITY SHOULD BE CONSULTED TO VERIFY CURRENT RESTRICTIONS. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY AND THOSE NOTED ABOVE. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTES, AGENCIES, PARTIES, OR SUBSEQUENT OWNERS.

BASIS OF BEARING OR ANGLES:

LOUISA HEIGHTS
PLAT BOOK: 6 PAGE: 48

DATE: 2-23-18

(agent) David J. Morton
Surveyor in Responsible Charge



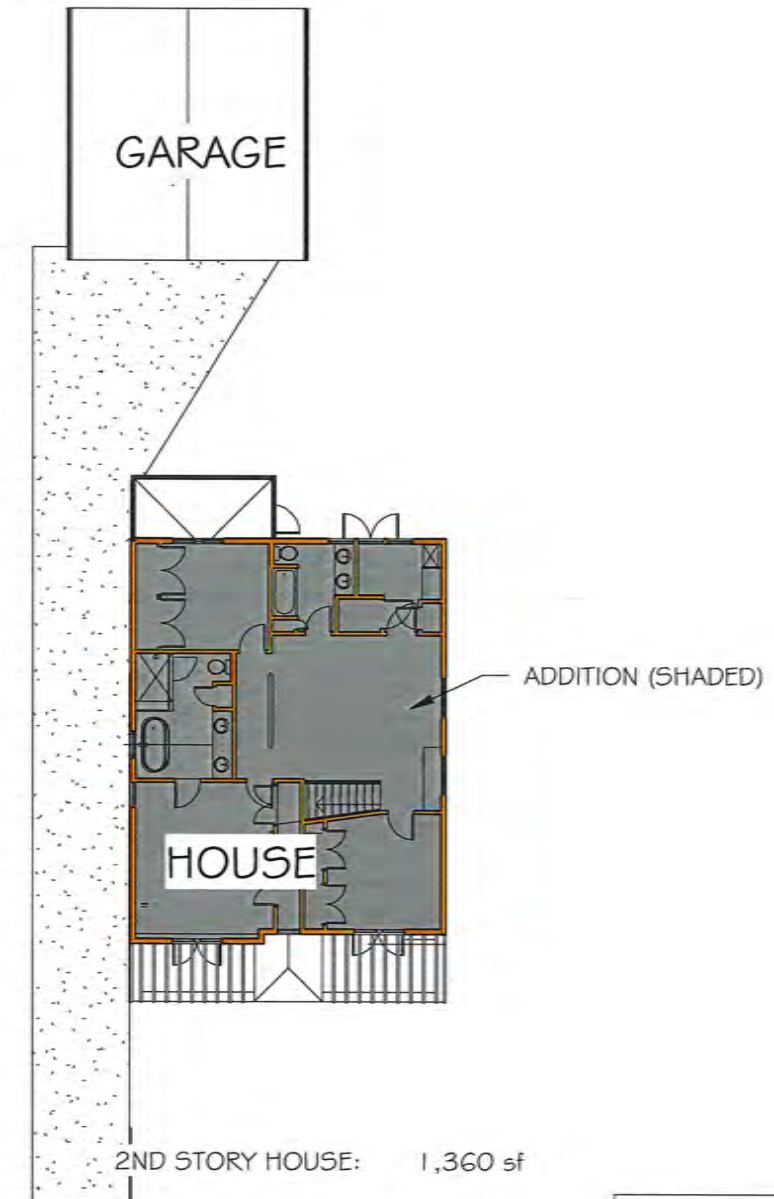
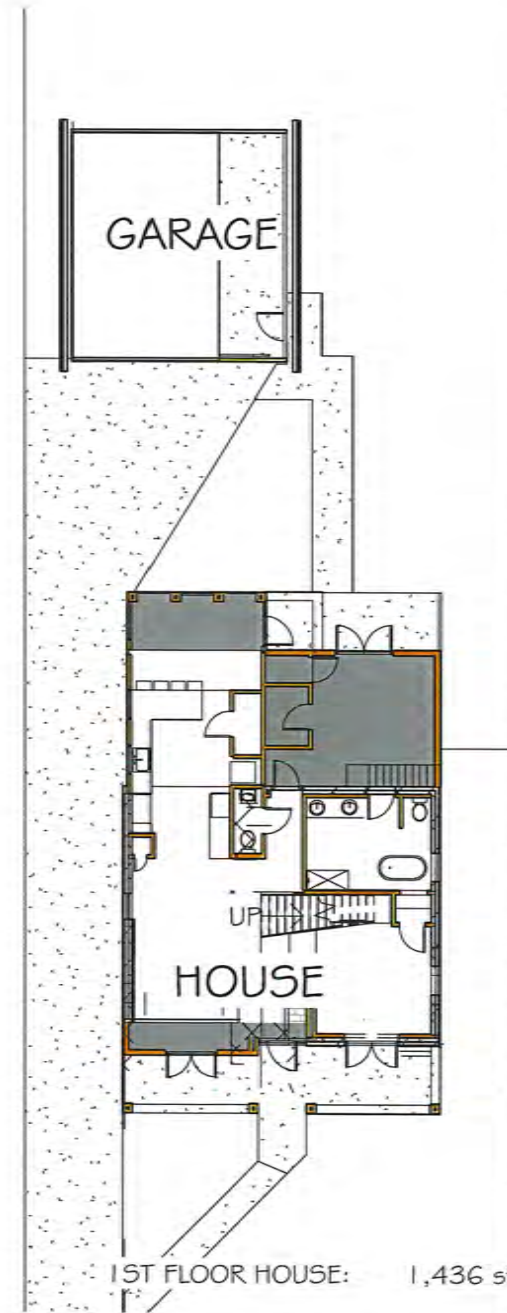
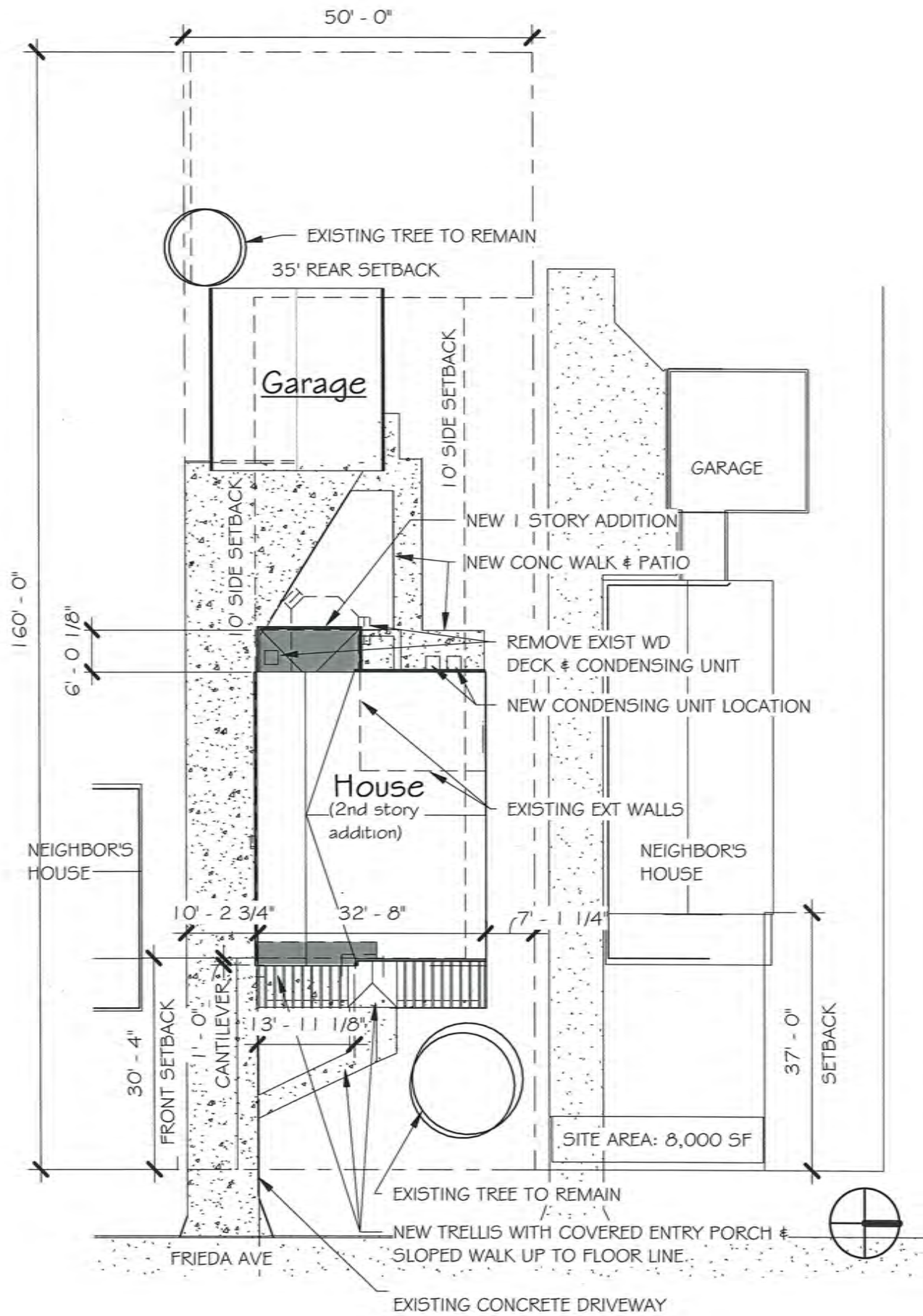
MERIDIAN LAND SURVEYING
21 POINT WEST BLVD
ST. CHARLES, MO 63301
PHONE: 636-939-2900 FAX: 636-946-9099
WWW.MERIDIANLANDSURVEYING.COM
© 2018 MERIDIAN SURVEYING SERVICES, LLC
CORPORATE LICENSE NO. 2010021844

DRAFTER:	AJ	REVIEWED BY:	DJM	FIELD CREW:	KAT/TMD
DATE:	02/23/2018	DRAWING NO.:	01	PROJECT NO.:	63250

SHEET
2
OF 2

285 FRIEDA AVENUE

Kirkwood, Missouri 63122



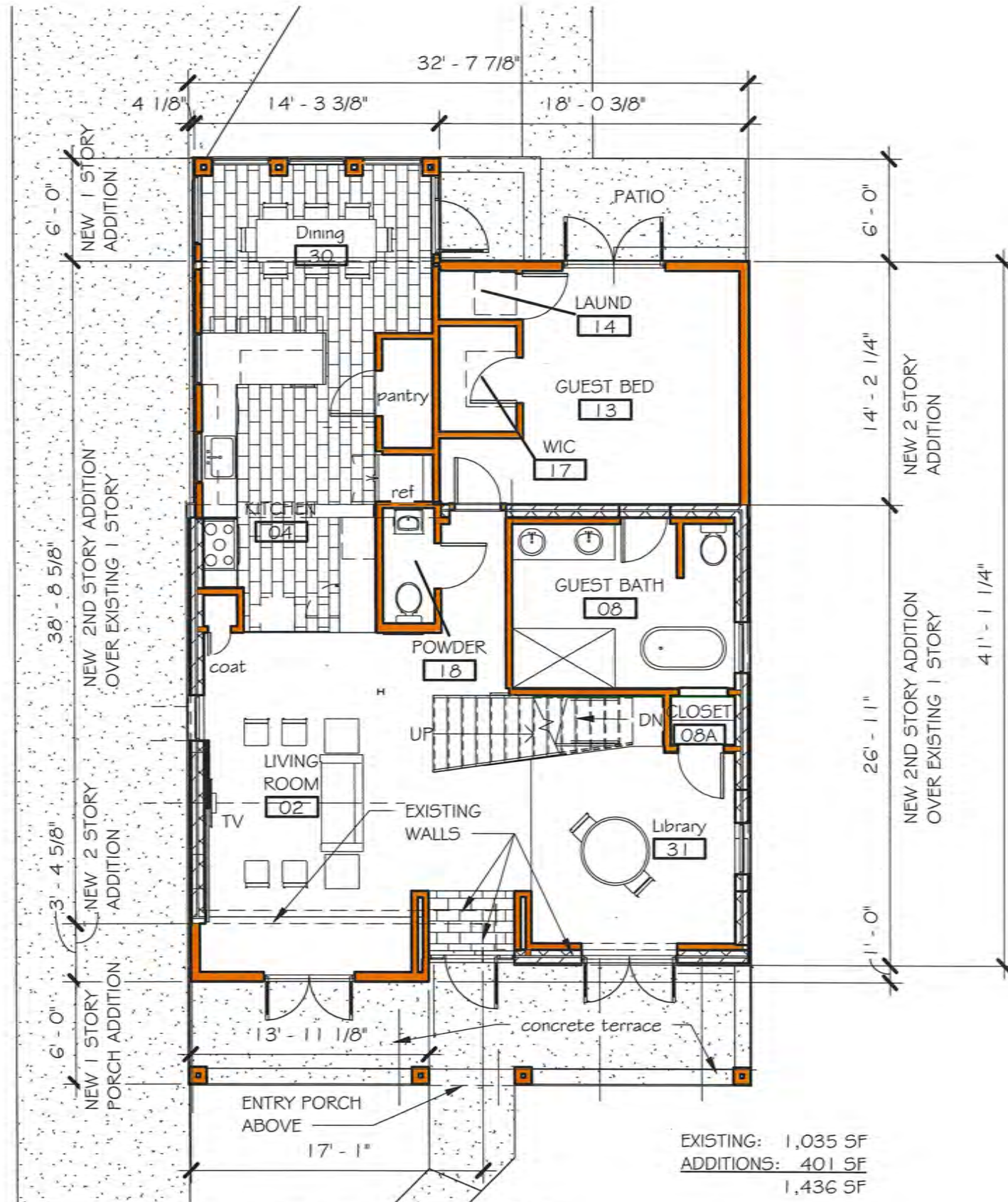
TOTAL BUILDING:	2796 sf
TOTAL SITE:	8,000 sf
FAR	34.95%

SITE PLAN & FAR PLANS

1" = 20'-0"

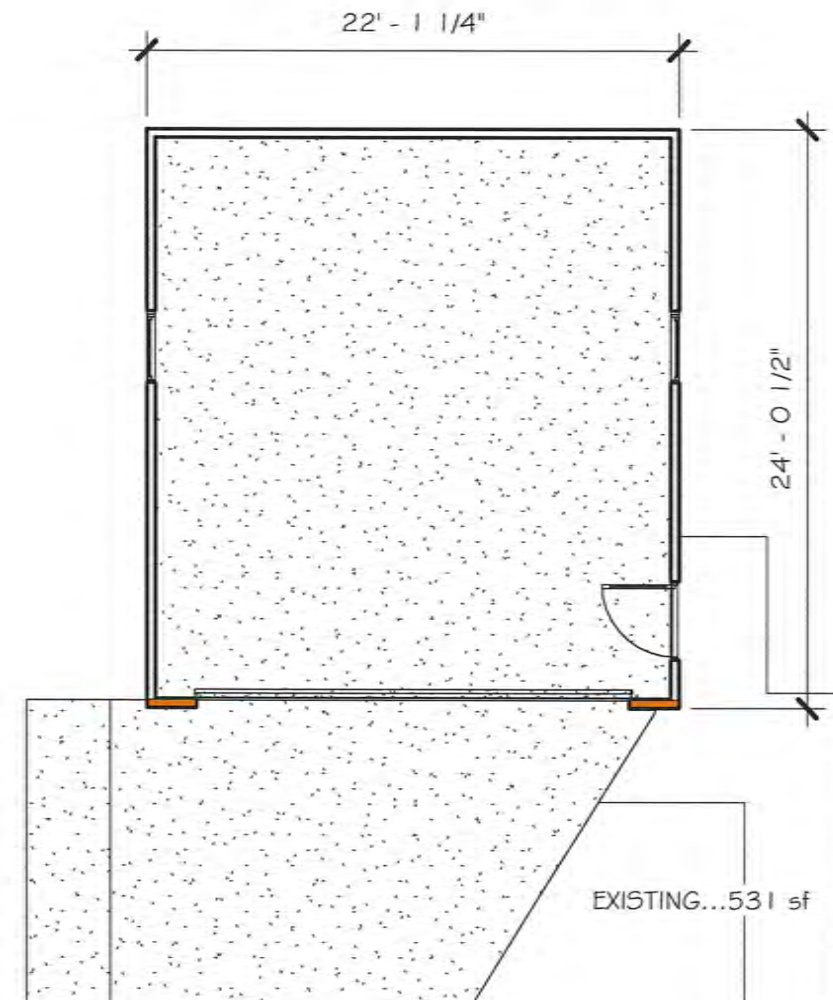
285 FRIEDA AVENUE

Kirkwood, Missouri 63122



EXISTING: 1,035 SF
 ADDITIONS: 401 SF
 1,436 SF

First Floor House



First Floor Garage



FIRST FLOOR PLANS

1/8" = 1'-0"

0 5 10

285 FRIEDA AVENUE

Kirkwood, Missouri 63122



SECOND FLOOR- HOUSE
2ND STORY ADDITION: 1360 sf

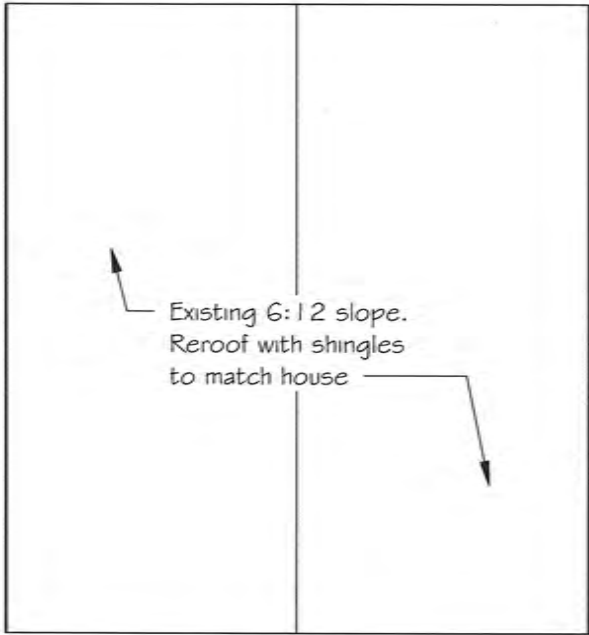
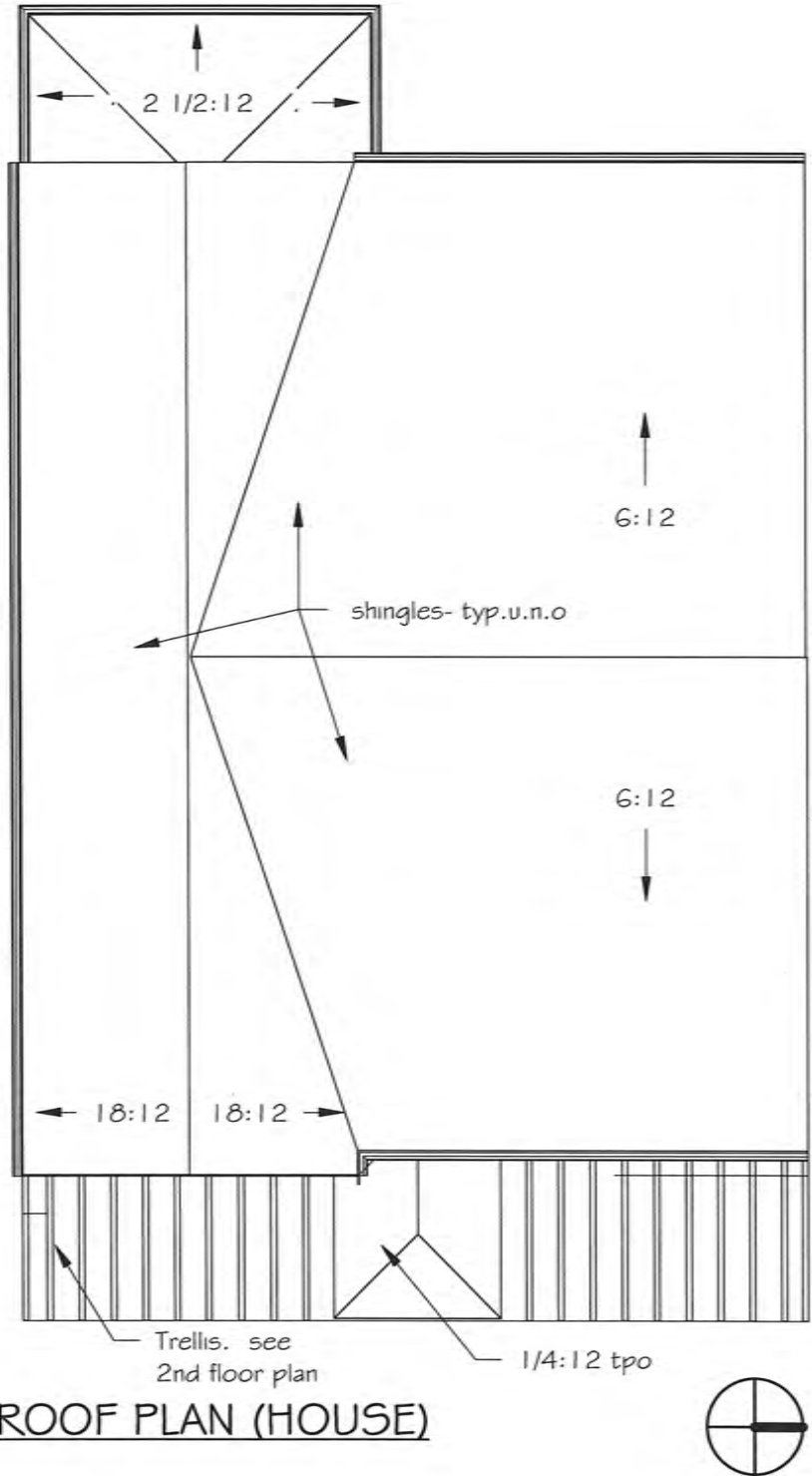


SECOND FLOOR PLANS

1/8" = 1'-0"

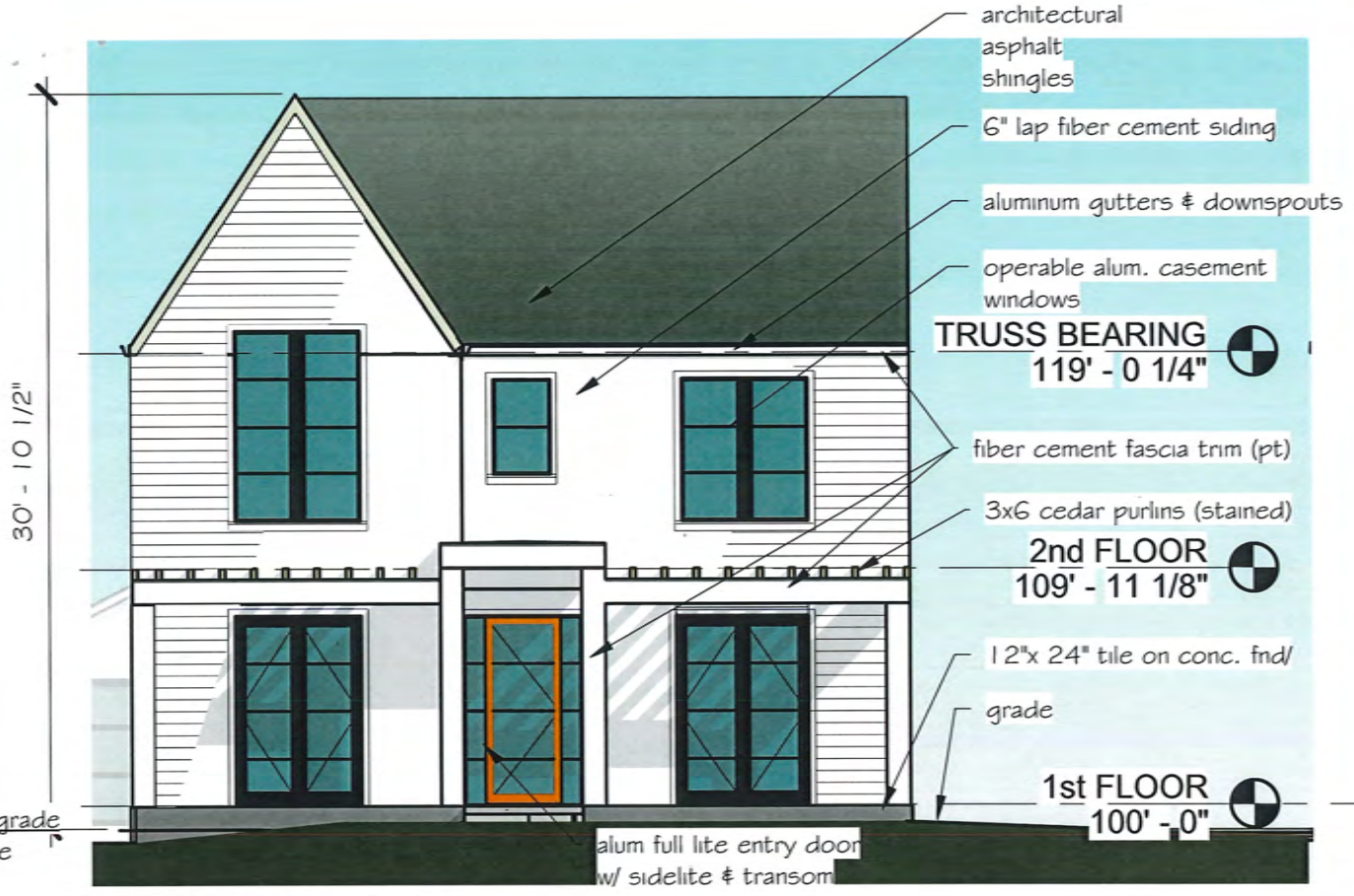
285 FRIEDA AVENUE

Kirkwood, Missouri 63122



ROOF PLANS

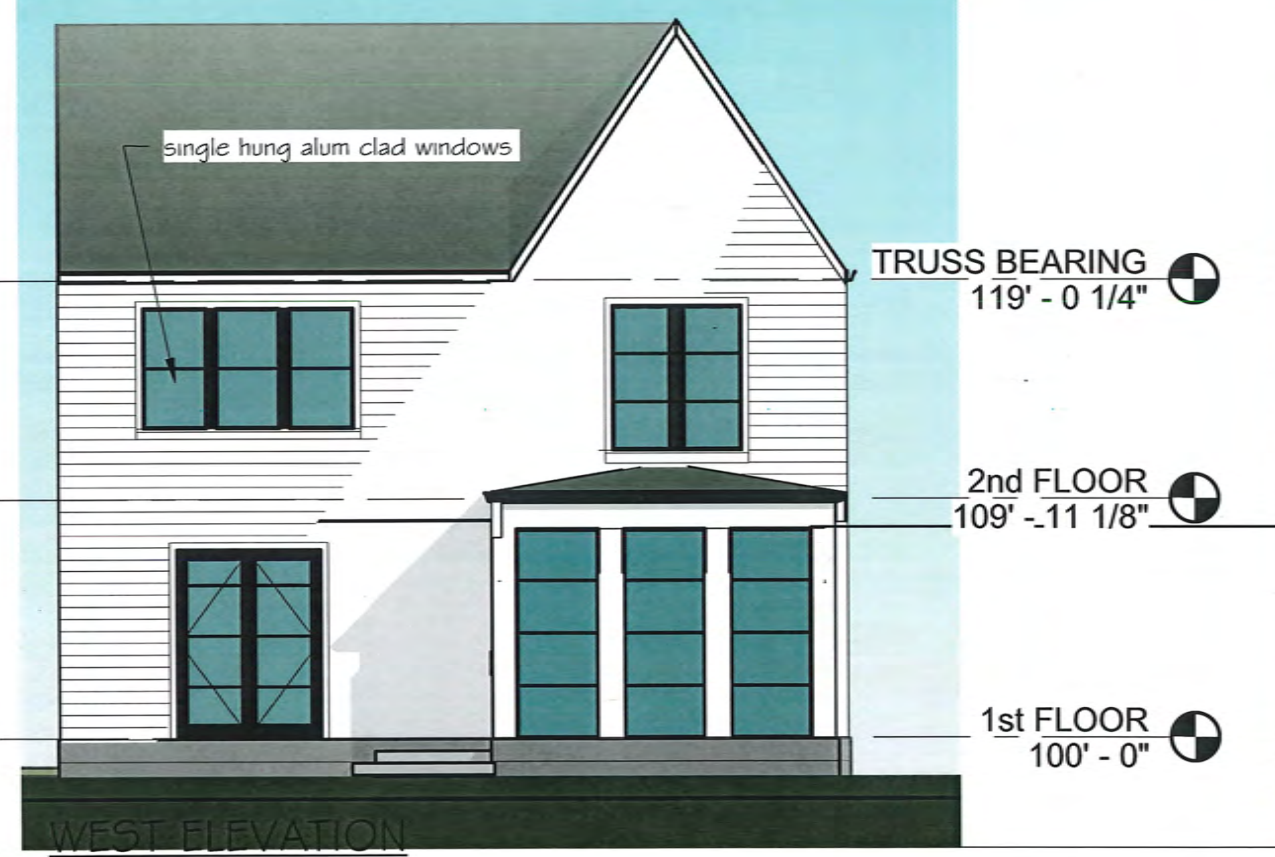
1/8" = 1'-0"



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

ELEVATIONS- HOUSE

1/8" = 1'-0"

12/29/21
00.000

285 FRIEDA AVENUE

Kirkwood, Missouri 63122



STREET VIEW LOOKING WEST (SOUTH NEIGHBOR)



STREET VIEW LOOKING WEST (EXISTING HOUSE)



STREET VIEW LOOKING WEST (NORTH NEIGHBOR)



LOOKING WEST (EXISTING GARAGE)



LOOKING WEST (WEST NEIGHBORS)

SITE PHOTOS

285 FRIEDA AVENUE

Kirkwood, Missouri 63122



LOOKING AT NORTH NEIGHBOR



LOOKING ACROSS THE STREET AT EAST NEIGHBOR



LOOKING AT SOUTH NEIGHBOR



LOOKING AT SOUTH NEIGHBOR (BACK OF MY GARAGE AT LEFT)

SITE PHOTOS



Architectural Review Board Application Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 601 E JEFFERSON AVE Zoned R-3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work REHAB WITH ADDITION

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT	
Name <u>PEARL CONSTRUCTION LLC</u>	Phone <u>314-220-9555</u>
Address <u>58 HILL DR.</u>	
City, State, Zip <u>GLENDALE MO 63122</u>	
E-mail (Agenda will be e-mailed to applicant) <u>PEARLCONSTRUCTION@SBCGLOBAL.NET</u>	
PROPERTY OWNER	
Name <u>- SAME -</u>	Phone _____
Address _____	
City, State, Zip _____	
ARCHITECT INFORMATION	
Name <u>JEFF HAMPTON</u>	Phone <u>314-270-2940</u>
Address <u>58 HEAVEN BLUFFS DR</u>	
City, State, Zip <u>LAKE S. LOUIS MO 63367</u>	

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Applicant's Signature

11/22/21



City Use Only	
Received by <u>[Signature]</u>	
Agenda Date <u>12/06/2021</u>	
Case # <u>101-21R</u>	
Permit # <u>22-3207</u>	
Zoning Comments _____	
Building Comments _____	



Architectural Review Board Application Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: REHAB WITH ADDITION + DETACHED GARAGE

Section B: Site Context

1) Building Form and Articulation

Architectural Style: FARMHOUSE
 Number of Stories: 2 Building Height: 22' Number of Roof Lines: 11
 Roof Type: ASPHALT SHINGLE Primary Roof Pitch: 12/12
 Secondary Roof Pitch: 4/12 Tertiary Roof Pitch: 3/12

2) Building Materials

Primary Exterior Wall Material: JAMES HARDI LAP SIDING
 Secondary Exterior Wall Material: JAMES HARDI SHAKE SIDING
 Tertiary Wall Material: _____
 Primary Roof Material: ASPHALT SHINGLE
 Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: FIBERGLASS
 Type of Window: VENYL Pane Arrangement: 1/1

4) Detailing

Foundation Wall Covering: JAMES HARDI SIDING
 Location of Utility Equipment: EAST SIDE
 Screening of Utility Equipment: LANDSCAPING

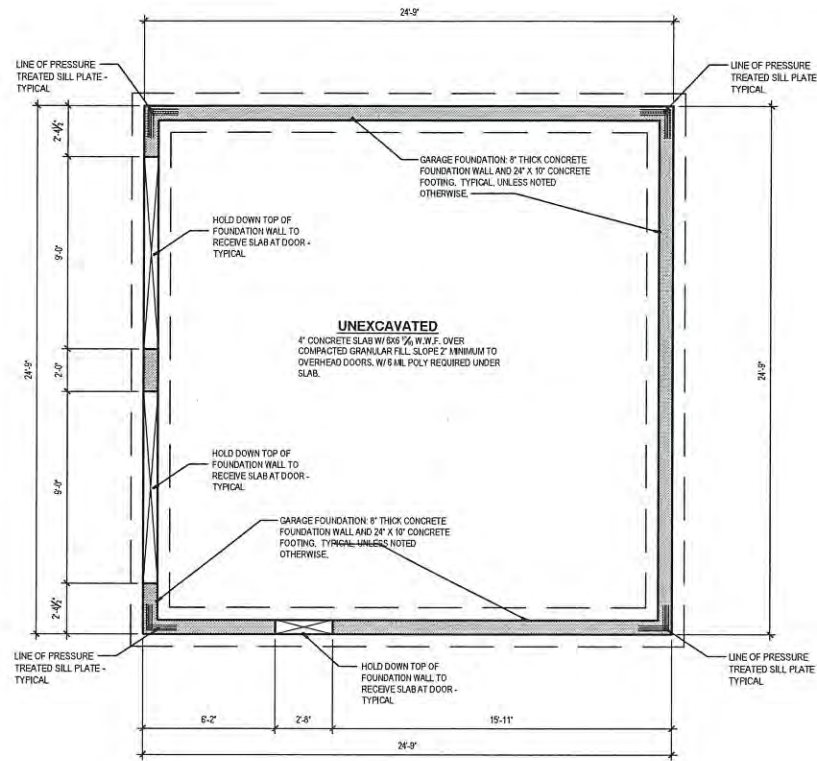
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Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

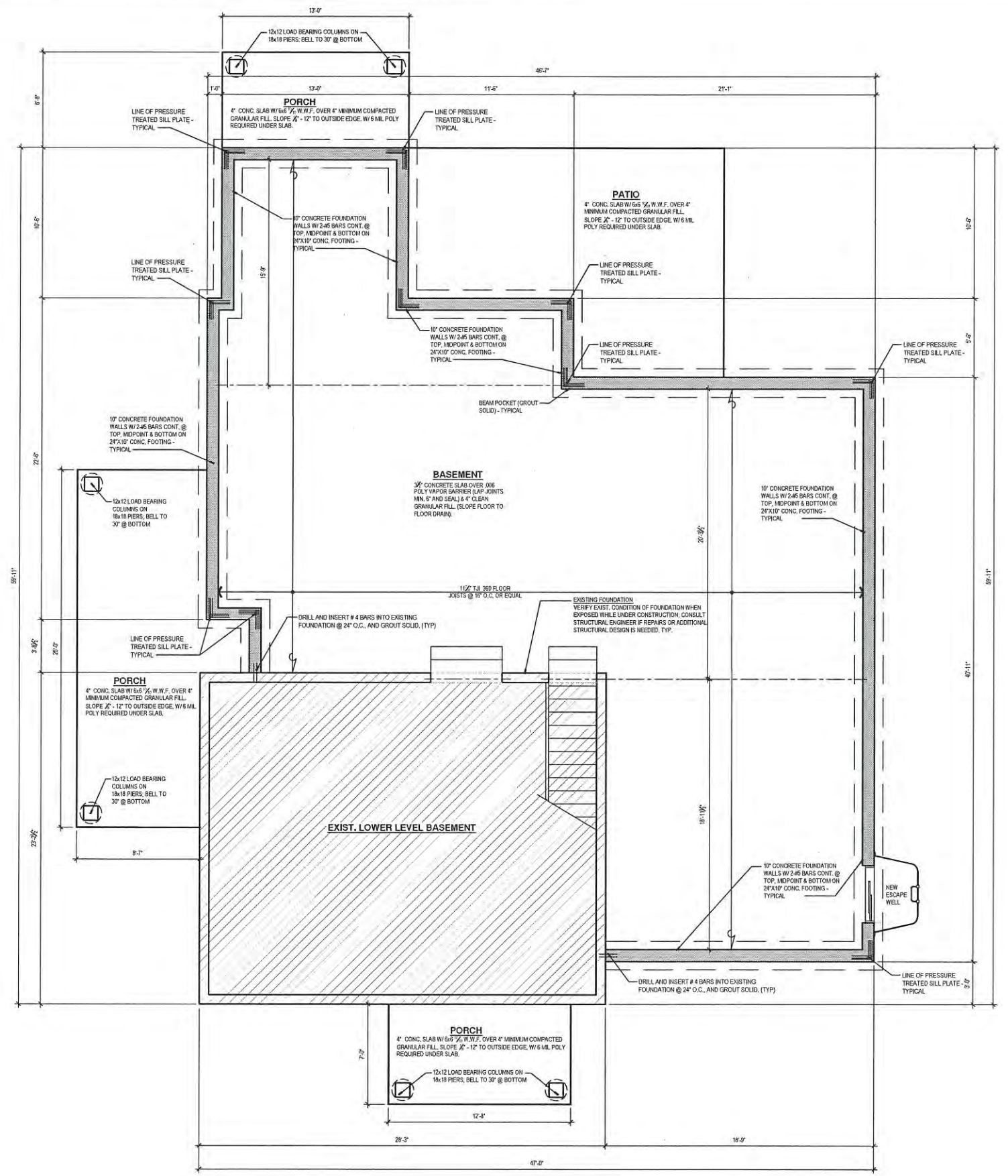


RECEIVED
DEC 20 2021
CITY OF KIRKWOOD
PUBLIC WORKS DEPARTMENT

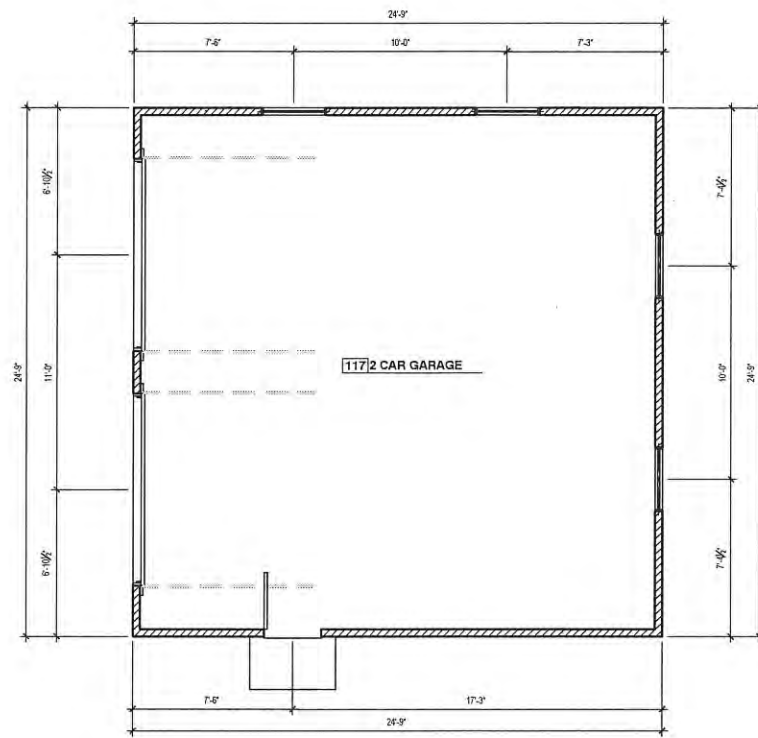
601 EAST JEFFERSON
601 East Jefferson Kirkwood, MO 63122



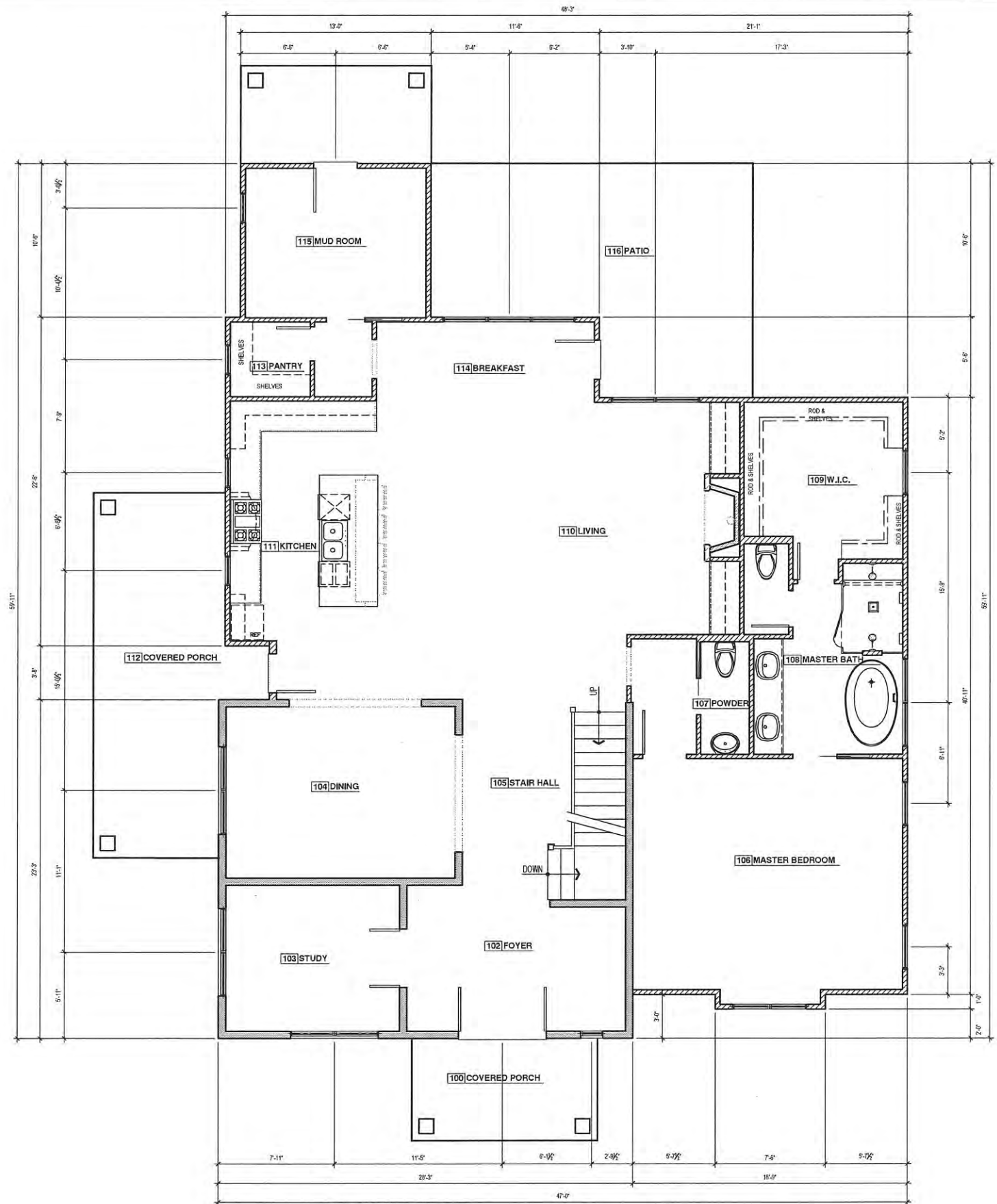
02 DETACHED GARAGE FOUNDATION PLAN 1/4"=1'-0"



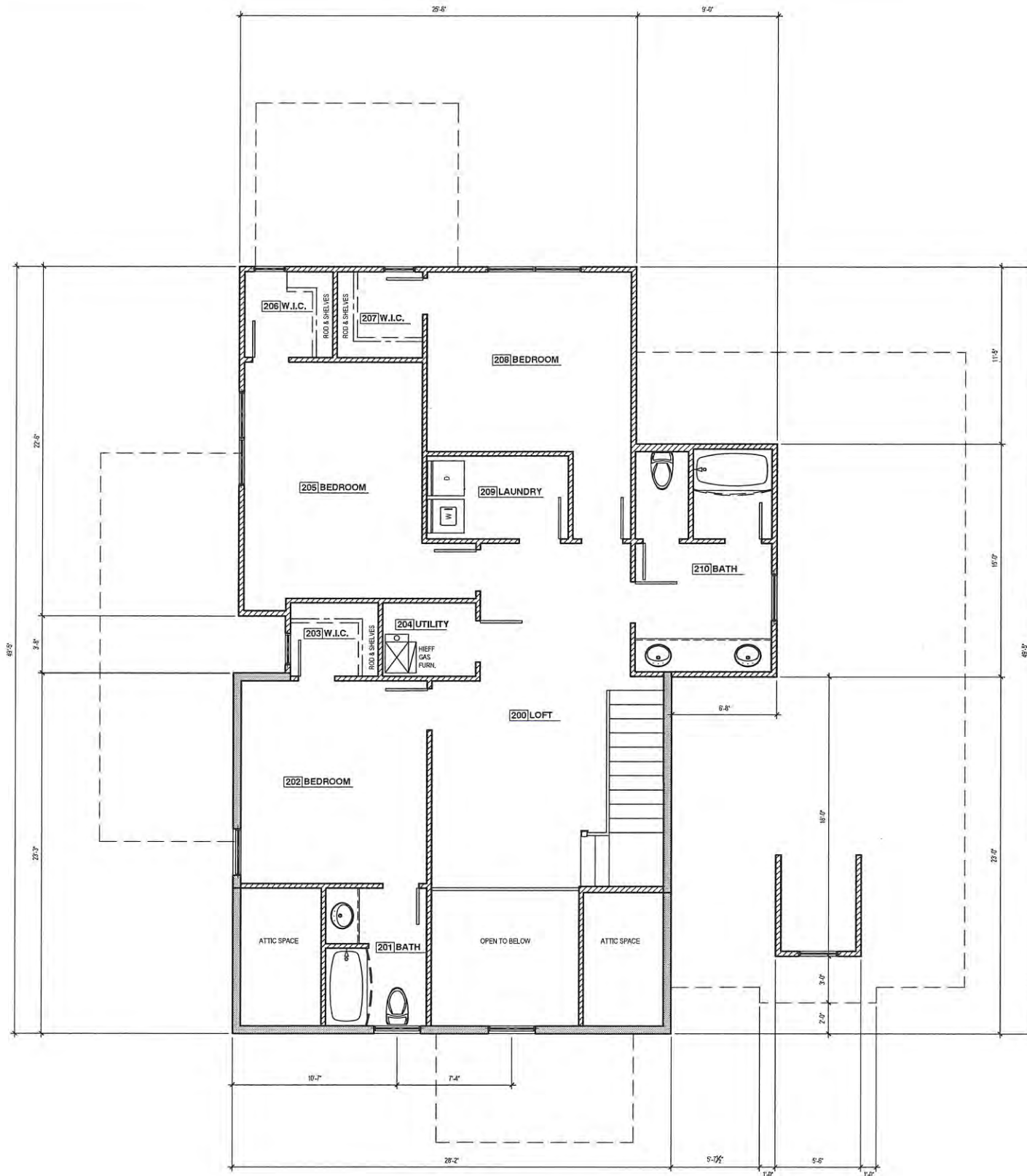
01 FOUNDATION PLAN 1/4"=1'-0"



02 DETACHED GARAGE PLAN 1/4"=1'-0"



01 MAIN FLOOR PLAN 1/4"=1'-0"
EXISTING 656 SQ. FT.
ADDITION 1,615 SQ. FT.

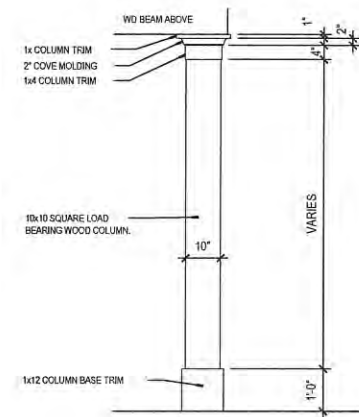


01 SECOND FLOOR PLAN
 EXISTING 395 SQ. FT.
 ADDITION 795 SQ. FT.
 1/4"=1'-0"

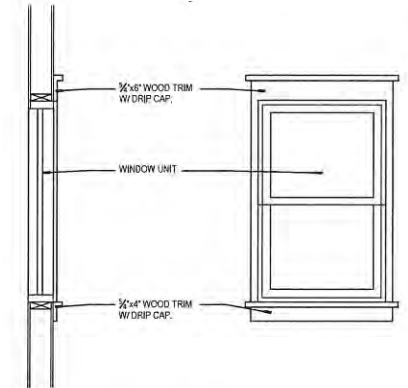
601 EAST JEFFERSON
 601 East Jefferson Kirkwood, MO 63122



01 FRONT ELEVATION 1/4"=1'-0"



TYPICAL COLUMN DETAIL



TYPICAL WINDOW DETAIL



02 SIDE ELEVATION 1/4"=1'-0"

601 EAST JEFFERSON
601 East Jefferson Kirkwood, MO 63122



01 REAR ELEVATION

1/4"=1'-0"



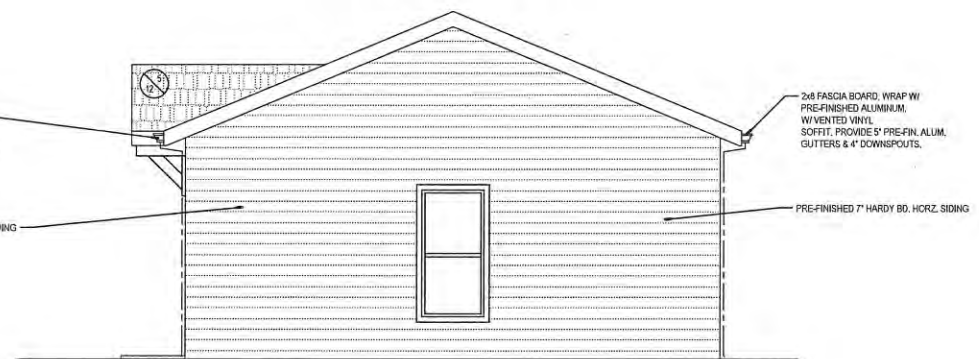
02 SIDE ELEVATION

1/4"=1'-0"

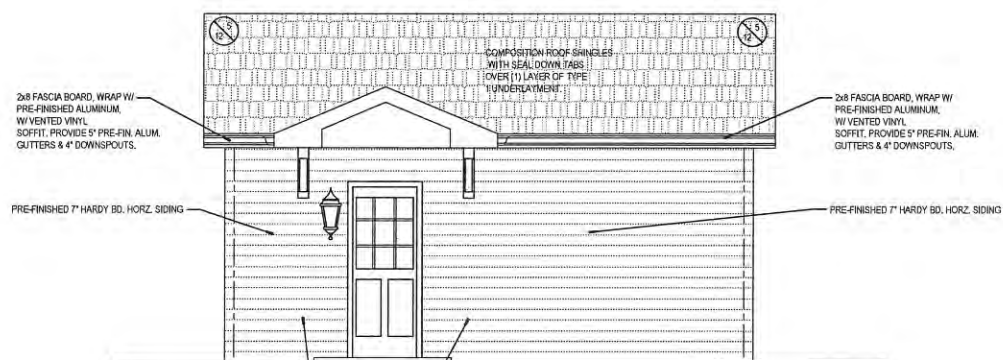
601 EAST JEFFERSON
601 East Jefferson Kirkwood, MO 63122



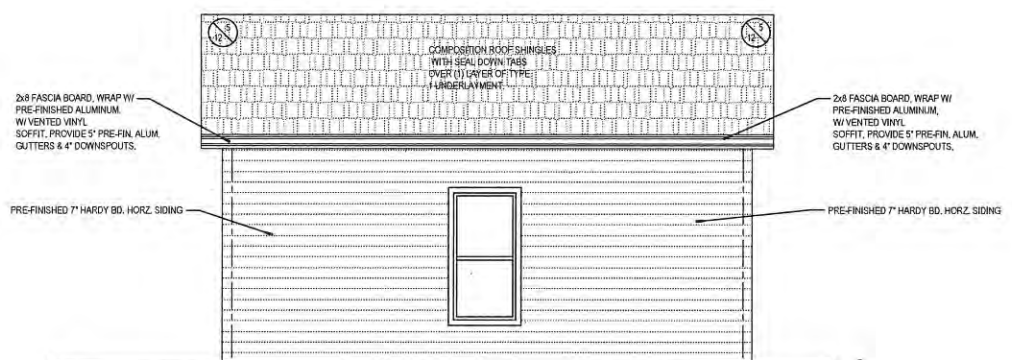
01 FRONT DETACHED GARAGE ELEVATION 1/4"=1'-0"



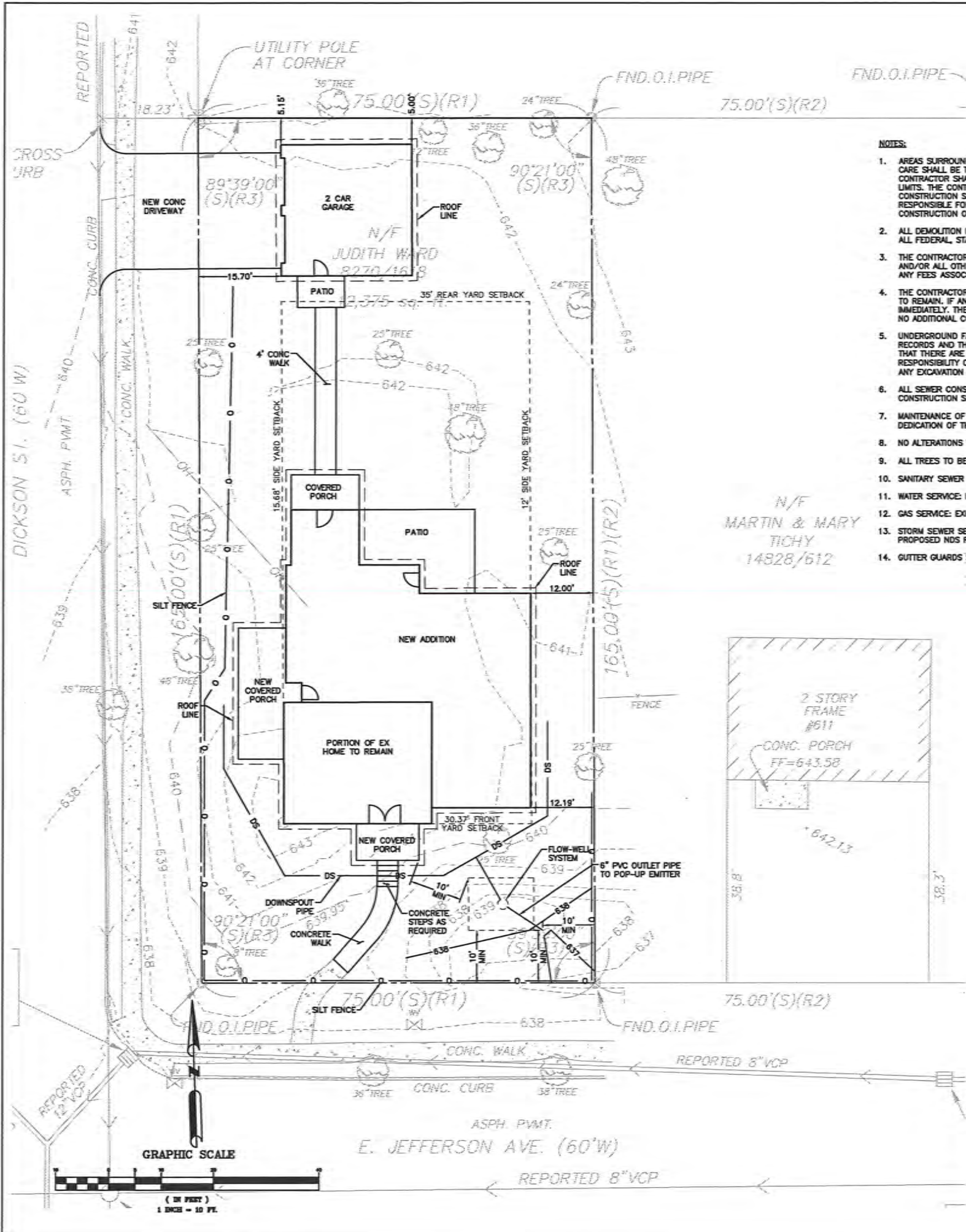
03 REAR DETACHED GARAGE ELEVATION 1/4"=1'-0"



02 SIDE DETACHED GARAGE ELEVATION 1/4"=1'-0"

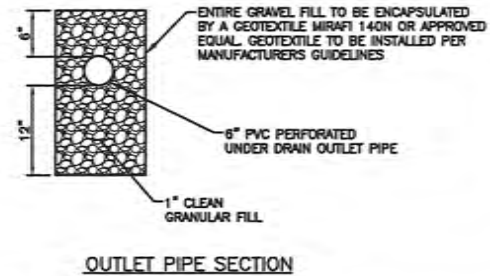
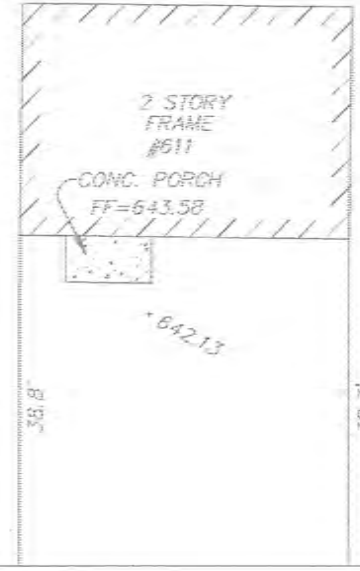


04 SIDE DETACHED GARAGE ELEVATION 1/4"=1'-0"



- NOTES:**
1. AREAS SURROUNDING THIS SITE MAY CONTAIN BOTH PEDESTRIAN AND VEHICLE TRAFFIC. ALL NECESSARY CARE SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THE SAFETY OF THE GENERAL PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND MAINTAINING SAFE AND EFFICIENT PROJECT LIMITS. THE CONTRACTOR SHALL FOLLOW ALL FEDERAL, STATE AND LOCAL GUIDELINES WITH REGARDS TO CONSTRUCTION SAFETY THROUGHOUT THE ENTIRE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY BREACHES OF SAFETY OR DESTRUCTION OF PROPERTY RELATED TO THE CONSTRUCTION OF THIS PROJECT.
 2. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS WITH MSD, AND/OR ALL OTHER UTILITY COMPANIES INVOLVED WITH THIS PROJECT. THE CONTRACTOR SHALL ALSO PAY ANY FEES ASSOCIATED WITH PERMITS, INSPECTIONS AND ANY OTHER CONSTRUCTION RELATED ACTIVITIES.
 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
 5. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE ARE OTHERS, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION PRIOR TO ANY EXCAVATION OR TRENCHING WORK TO AVOID DAMAGING THEM.
 6. ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MSD STANDARD CONSTRUCTION SPECIFICATION, 2009.
 7. MAINTENANCE OF ALL SEWERS DESIGNED AS "PUBLIC" SHALL BECOME THE RESPONSIBILITY OF MSD UPON DEDICATION OF THE SEWERS TO THE DISTRICT.
 8. NO ALTERATIONS TO THE EXISTING DRAINAGE PATTERN ARE PROPOSED.
 9. ALL TREES TO BE KEPT UNLESS NOTATED WITH "TO BE REMOVED" (TBR).
 10. SANITARY SEWER SERVICE: EXISTING SANITARY LATERAL IS TO BE USED IN PLACE.
 11. WATER SERVICE: EXISTING WATER SERVICE IS TO BE USED IN PLACE.
 12. GAS SERVICE: EXISTING GAS SERVICE IS TO BE USED IN PLACE.
 13. STORM SEWER SERVICE: DOWNSPOUTS COLLECTING 2000 SQ FT OF ROOF AREA SHALL BE PIPED TO A PROPOSED NDS FLO-WELL DRY WELL SYSTEM. REMAINING DOWNSPOUTS SHALL SPLASH TO GRADE.
 14. GUTTER GUARDS SHALL BE INSTALLED ON ALL GUTTERS.

N/F
MARTIN & MARY
TICHY
14828/612



LOCATION MAP

Michael A. Buescher, P.E., Civil Engineering
 License No. 2560161814
 State of Missouri
 12/23/21

PROJECT REVISION:	
NO.	DESCRIPTION:
1	11-22-21 FOR REVIEW
2	12-28-21 ARCHITECT CHANGES

NDS, INC.
 851 NORTH HARVARD AVE.
 LINDSAY, CA 93247
 TOLL FREE: 1-800-728-1994
 PHONE: (559) 562-9888
 FAX: (559) 562-4488
 www.ndspro.com

4" SCH 40 PIPE CUT TO LENGTH PER DEPTH OF FLOW-Well
 4" PVC INLET W/ 1/8" MIN. SLOPE
 4" NOS GRATES OR APPLICABLE IN LINE LOW PROFILE ADAPTERS.
 4" SCH 40 COUPLING
 FWAS24 24" DIA. FLOW WELL COVER.
 6" PVC OUTLET W/ 1/8" MIN. SLOPE
 FINISHED GRADE
 12" MIN.
 1'-0" MIN.
 5'-0" MIN.
 8" MIN.
 10' x 12.5'
 BOTTOM SHALL BE GRADED LEVEL
 FWSP3 (2) FLOW WELL SIDE PANELS.
 FWBP24 24" DIA. FLOW WELL BOTTOM.
 4" DIA. DRAINAGE CONNECTION HOLES. UTILIZE HOLES AS NEEDED FOR INLETS AND OUTLETS.
 3/4" TO 1 1/2" CLEAN GRAVEL BACKFILL RECOMMENDED.

NOTES:

1. MUST BE INSTALLED 10' AWAY FROM STRUCTURE OR FOUNDATION.
2. FWAS24 KIT DOES NOT COME WITH FWBP24 BTM.
3. REFERENCE FLO-Well CALCULATOR ON NDSPRO.COM
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
5. DO NOT SCALE DRAWING.
6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

FLO-Well DRY WELL SYSTEM
 FLO-Well INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

NOTE:
 SIDES AND BOTTOM OF TRENCH SHALL BE SCARRED WITH A KNIFE OR RIGID GARDEN RAKE TO PROMOTE INFILTRATION INTO THE SOIL.
 THIS STORMWATER BMP IS NOT UNDER MSD JURISDICTION

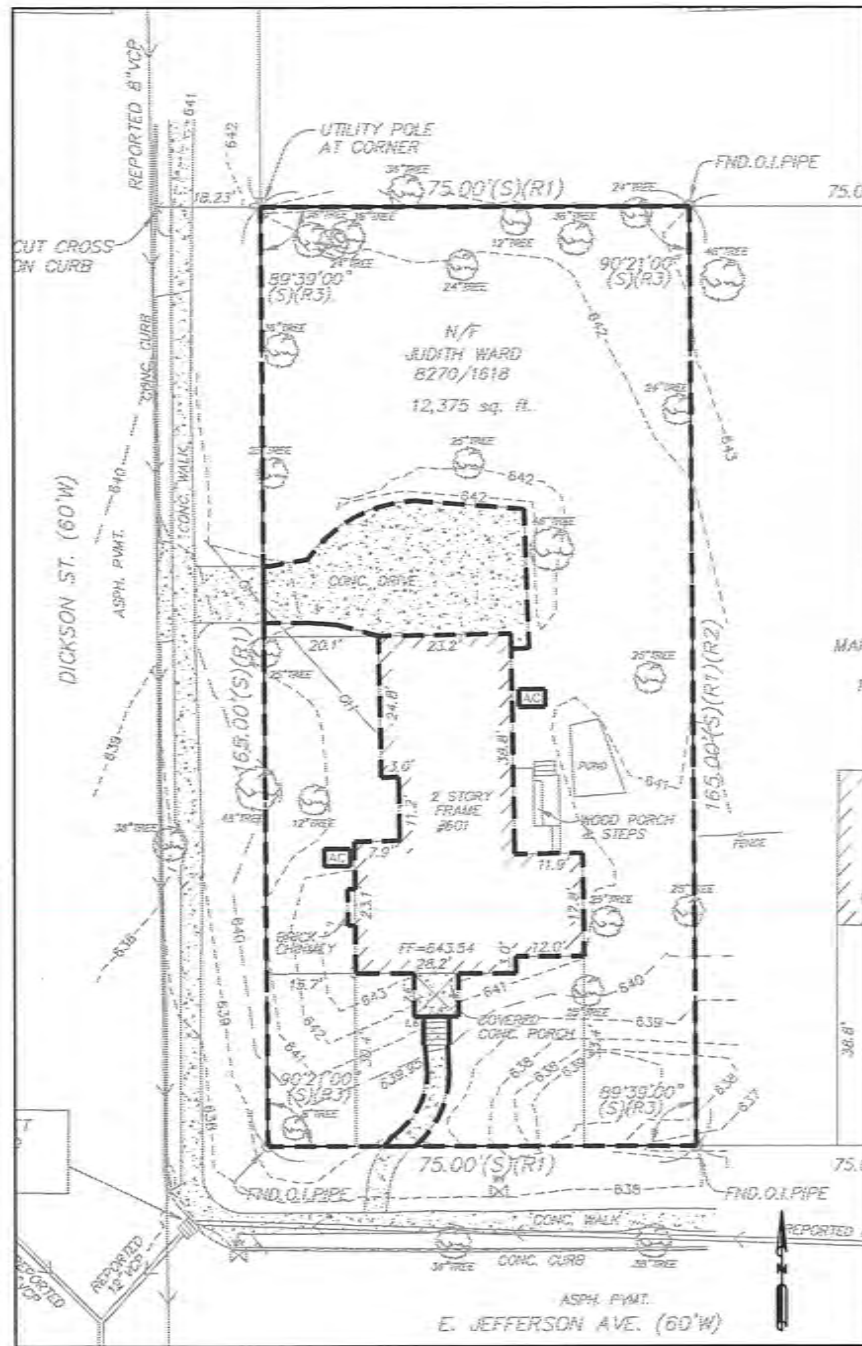
601 E Jefferson Ave.
 Kirkwood, MO 63122

DATE: 11-22-21
 DRAFTED BY: KB
 APPRVD. BY: MB

SHEET TITLE:
 SITE PLAN

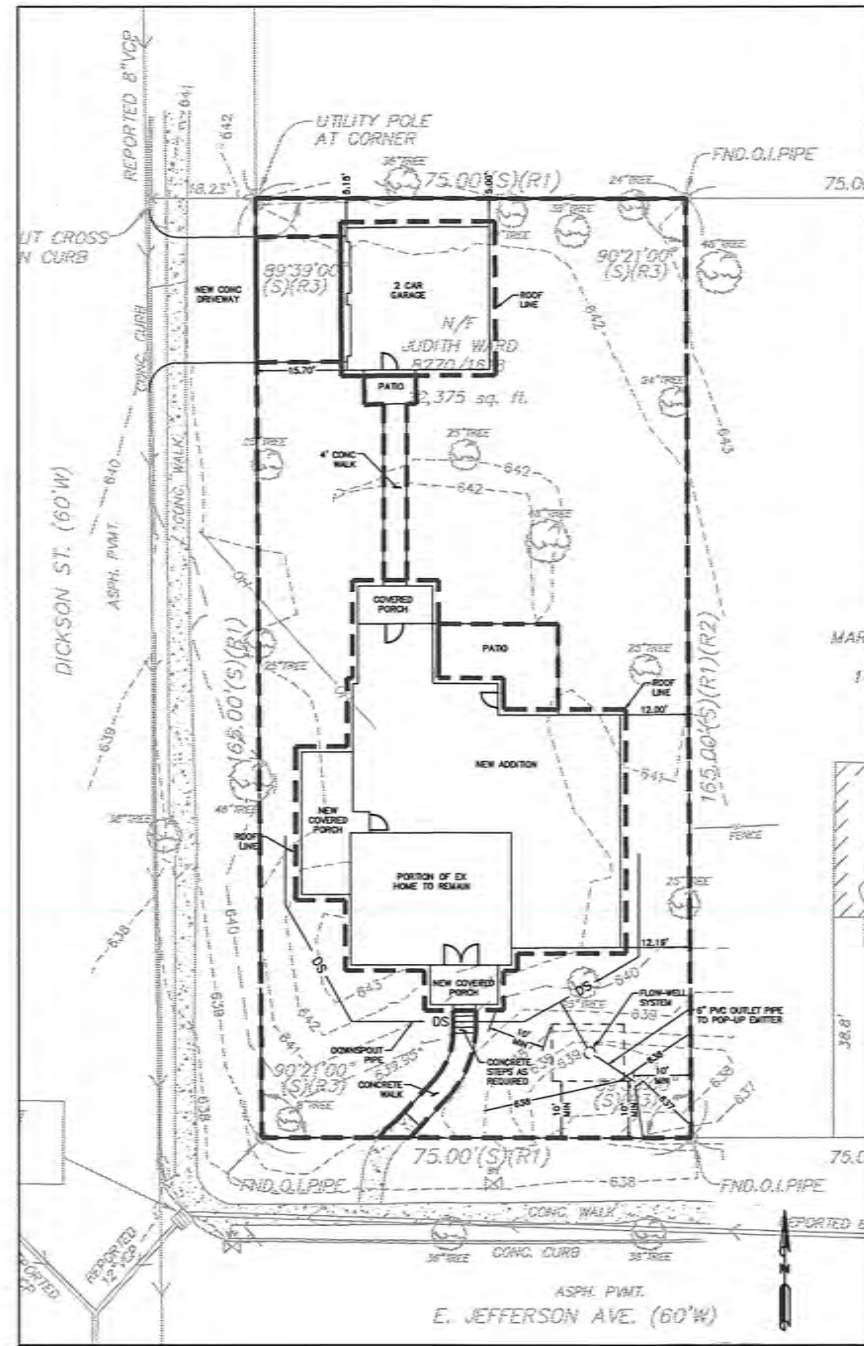
SHEET NUMBER:
C1

PROJECT NO: 21-622



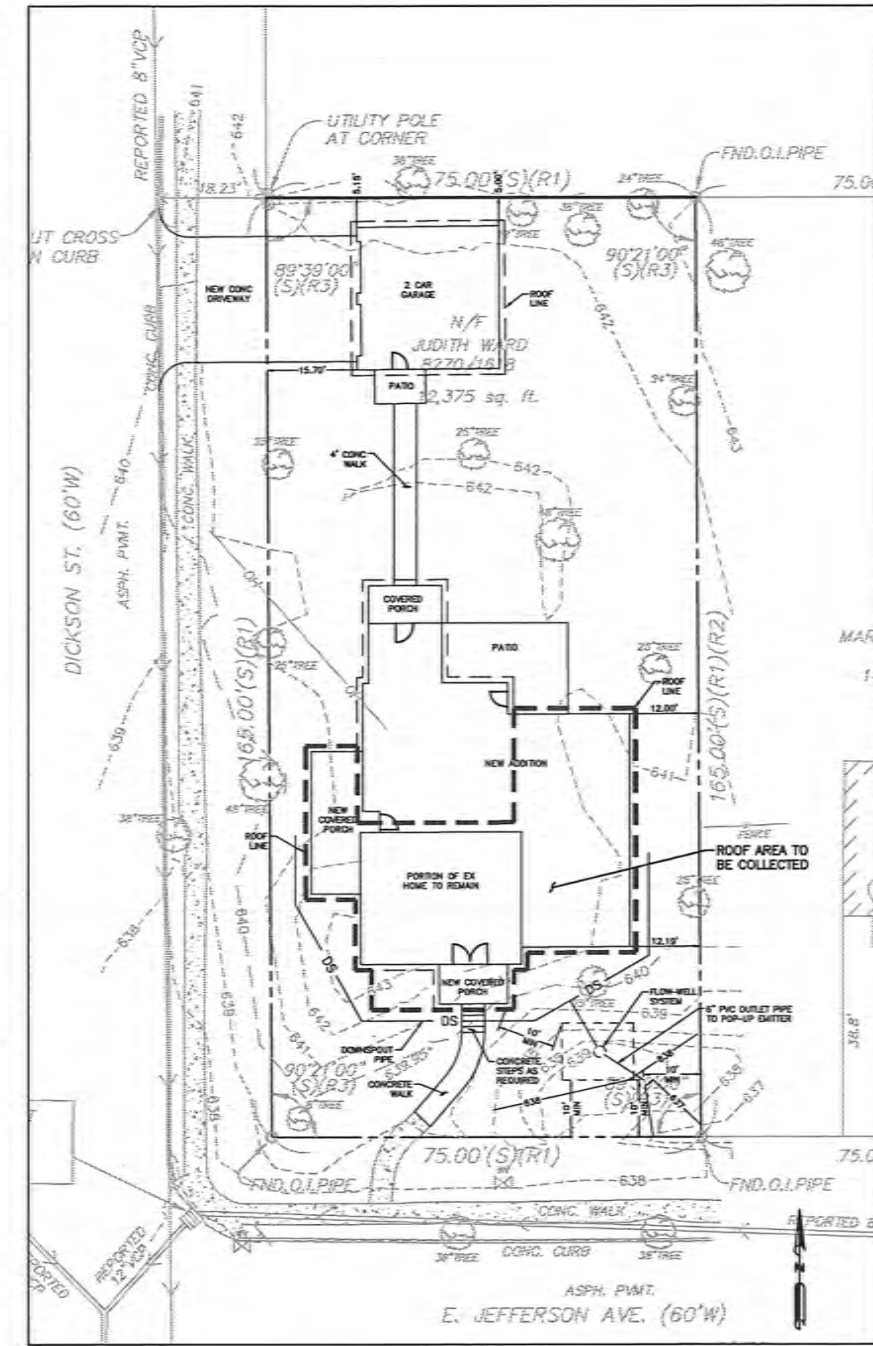
SCALE: 1"=10'

EXISTING AREA					
	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	1,742.14	14.08%	0.040	4.20	0.168
GRAVEL	0.00	0.00%	0.000	2.50	0.000
PAVEMENT	1,031.84	8.34%	0.024	3.54	0.084
LAWN	9,800.79	77.58%	0.220	1.70	0.375
TOTALS	12,374.77	100.00%	0.284		0.627



SCALE: 1"=10'

PROPOSED AREA					
	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	3,683.33	29.80%	0.084	4.20	0.353
GRAVEL	0.00	0.00%	0.000	2.50	0.000
PAVEMENT	846.80	6.84%	0.019	3.54	0.089
LAWN	7,864.64	63.55%	0.181	1.70	0.307
TOTALS	12,374.77	100.00%	0.284		0.729



SCALE: 1"=10'

PROPOSED IMPERVIOUS = 4,510.13 = 36.4%
 MAX ALLOWED = 3,093.69 = 25%
 4,510.13 - 3,093.69 = 1,416.44

OR

PROPOSED IMPERVIOUS AREA - EXISTING IMPERVIOUS AREA
 4,510.13 - 2,773.98 = 1,736.15

USE 1,736.15 BECAUSE IT IS THE GREATER OF THE TWO

ADD 10% DUE TO NO INFILTRATION TEST = 1,736.15 + 173.62 = 1,909.77
 2,000 SQ FT ROOF AREA WILL BE COLLECTED

2,000/43,560 * 3.54 * 20 * 60 = 195.04 CF OF WATER TO BE TREATED
 ASSUMING 40% POROSITY = 487.60 CF OF ROCK IS REQUIRED
 USING A 4 FOOT ROCK DEPTH = 121.90 SQ. FT.
 10 X 12.5 = 125 SQ. FT.



MB Engineering, Inc.
 14851 Remington Road
 Marion, IL 62959
 (314) 368-3040



Michael A. Buescher, P.E., Civil Engineer
 License No. 0207018714
 All Engineering Inc. License Activity No. 1-02050404

The Professional Engineer's seal affixed to this sheet indicates that the named Engineer has prepared or supervised the preparation of the material shown only on this sheet. The drawings and documents not exhibiting this seal and not so certified are not the responsibility of the undersigned.

PROJECT REVISION:

NO.	DATE	DESCRIPTION FOR REVISION
1	11-22-21	ARCHITECT CHANGES
2	12-28-21	ARCHITECT CHANGES

601 E Jefferson Ave.
 Kirkwood, MO 63122

DATE: 11-22-21
 DRAFTED BY: KB
 APPROVED BY: MB

SHEET TITLE:
 DRAINAGE AREA MAP

SHEET NUMBER:

C2

PROJECT NO: 21-622

City of Edward, Missouri
Residential Green Practices

DRY WELLS

Dry wells are designed to collect and store stormwater runoff from roofs, driveways, and other paved areas. They are designed to infiltrate water into the ground and are not to be used for anything other than stormwater collection.

LOCATION

- Dry wells should be located at least 10 feet from building foundations and 10 feet from property lines.
- To reduce the chance of flooding, dry wells should be located in areas with good drainage and should be protected with a cover that is at least 12 inches above the finished ground surface.
- The height of the tank should not exceed 12 inches unless infiltration testing has been done to ensure a maximum of 72 hours of storage.
- Dry wells should be located in a lower or pervious (sandy) area and should be designed with the top of the dry well located at least 12 inches above the finished ground surface.
- NOTE: Dry wells should not be located: (1) beneath an impervious ground surface, (2) above an area with a water table or base rock less than two feet below the finished ground surface, (3) over other utilities, (4) in areas with a slope greater than 10% unless approved by the City Engineer, (5) in areas with a slope greater than 10% unless approved by the City Engineer, (6) in areas with a slope greater than 10% unless approved by the City Engineer.

CONSTRUCTION

- Construct the dry well in a lower or pervious (sandy) area and should be designed with the top of the dry well located at least 12 inches above the finished ground surface.
- The dry well should be constructed of 12-inch diameter pipe or larger pipe with a minimum of 12 inches of cover over the top of the pipe.
- The bottom of the dry well should be covered with a layer of 3 to 4 inches of clean, washed aggregate (3/4" to 1 1/2" size) over a layer of 12 inches of clean, washed aggregate (3/4" to 1 1/2" size).
- For rock catchment, install a rock screen in the gutter or downspout area to prevent the dry well from becoming clogged with leaves and debris.
- An overflow, such as a vegetated filter area or grass channel, should be designed to safely convey the stormwater runoff generated by larger storms bypassing the dry well.
- The optimal design involves placement of a vertical riser pipe connected to the inlet pipe.

Rev. 10/2014 Page 5

City of Edward, Missouri
Residential Green Practices

VEGETATION

The vegetation around a dry well should be covered with grass or other vegetation that is suitable for the site. The vegetation should be planted in a way that it will provide adequate cover and prevent erosion.

MAINTENANCE

- Annual maintenance is important for dry wells to ensure they continue to provide maximum stormwater management benefits.
- Inspect the dry well for debris accumulation, sediment, and other obstructions.
- Inspect the dry well for leaks and other damage.
- Inspect the dry well for signs of erosion or other damage.
- Inspect the dry well for signs of root intrusion or other damage.
- Inspect the dry well for signs of sediment accumulation, debris, and other obstructions.
- Inspect the dry well for signs of leaks and other damage.
- Inspect the dry well for signs of erosion or other damage.
- Inspect the dry well for signs of root intrusion or other damage.

Rev. 10/2014 Page 5

City of Edward, Missouri
Residential Green Practices

DEFINITIONS

CONSTRUCTION TECHNIQUES

- Soil should be prepared by surface and depth. The soil should be tested to determine the soil type and the amount of organic matter. The soil should be tested to determine the soil type and the amount of organic matter.
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City of Edward, Missouri
Residential Green Practices

DRY WELL - SPECIAL DESIGN

Special design dry wells are required for areas with high water tables, impervious ground, or other conditions that prevent standard dry well construction.

CONSTRUCTION

- Special design dry wells should be constructed of 12-inch diameter pipe or larger pipe with a minimum of 12 inches of cover over the top of the pipe.
- The bottom of the dry well should be covered with a layer of 3 to 4 inches of clean, washed aggregate (3/4" to 1 1/2" size) over a layer of 12 inches of clean, washed aggregate (3/4" to 1 1/2" size).
- For rock catchment, install a rock screen in the gutter or downspout area to prevent the dry well from becoming clogged with leaves and debris.
- An overflow, such as a vegetated filter area or grass channel, should be designed to safely convey the stormwater runoff generated by larger storms bypassing the dry well.
- The optimal design involves placement of a vertical riser pipe connected to the inlet pipe.

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City of Edward, Missouri
Residential Green Practices

SILT FENCE

Silt fences are used to prevent sediment from leaving a construction site. They are made of a fabric material that is placed across a slope to catch sediment before it reaches a waterway.

PHYSICAL DESCRIPTION - Silt fences are made of a fabric material that is placed across a slope to catch sediment before it reaches a waterway.

WHEN BMP IS TO BE INSTALLED - Silt fences should be installed before any earthmoving or construction activities begin.

CONSTRUCTION

- Silt fences should be installed on a slope of 2:1 or greater.
- The silt fence should be made of a fabric material that is at least 12 inches high.
- The silt fence should be placed across the slope to catch sediment before it reaches a waterway.
- The silt fence should be secured to the ground with stakes or posts.
- The silt fence should be inspected regularly for damage and replaced as needed.

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City of Edward, Missouri
Residential Green Practices

SOIL STABILIZATION

Soil stabilization is used to improve the strength and stability of soil. It involves the application of a stabilizing agent to the soil to bind the particles together.

PHYSICAL DESCRIPTION - Soil stabilization is used to improve the strength and stability of soil. It involves the application of a stabilizing agent to the soil to bind the particles together.

WHEN BMP IS TO BE INSTALLED - Soil stabilization should be used on areas where the soil is weak or unstable.

CONSTRUCTION

- Soil stabilization should be used on areas where the soil is weak or unstable.
- The stabilizing agent should be applied to the soil in a uniform layer.
- The soil should be compacted after the stabilizing agent is applied.
- The soil should be tested to determine the strength and stability of the stabilized soil.

Rev. 10/2014 Page 57

City of Edward, Missouri
Residential Green Practices

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Rev. 10/2014 Page 142

City of Edward, Missouri
Residential Green Practices

POP-UP EMITTER

Pop-up emitters are used to provide water to plants in a controlled manner. They are made of a plastic material that is placed in the soil and has a small hole that allows water to flow out.

PHYSICAL DESCRIPTION - Pop-up emitters are used to provide water to plants in a controlled manner. They are made of a plastic material that is placed in the soil and has a small hole that allows water to flow out.

WHEN BMP IS TO BE INSTALLED - Pop-up emitters should be used on areas where the soil is dry or where the plants need water.

CONSTRUCTION

- Pop-up emitters should be placed in the soil at a depth of 1 to 2 inches.
- The pop-up emitter should be secured to the soil with a small amount of soil.
- The pop-up emitter should be tested to determine the flow rate of the emitter.

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City of Edward, Missouri
Residential Green Practices

Flo-Well Assembly and Installation Sheet

This sheet provides instructions for the assembly and installation of the Flo-Well system. It includes diagrams and a list of parts.

ASSEMBLY INSTRUCTIONS

- Remove the cap from the Flo-Well and set it aside.
- Insert the emitter into the Flo-Well and secure it with the cap.
- Test the Flo-Well to ensure it is working properly.

INSTALLATION

- The Flo-Well should be installed in a hole that is 12 inches deep and 12 inches wide.
- The Flo-Well should be secured to the ground with a small amount of soil.
- The Flo-Well should be tested to ensure it is working properly.

Rev. 10/2014 Page 2

City of Edward, Missouri
Residential Green Practices

Flo-Well Assembly and Installation Sheet

This sheet provides instructions for the assembly and installation of the Flo-Well system. It includes diagrams and a list of parts.

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Rev. 10/2014 Page 2



Michael A. Buescher, P.E., Civil Engineering
14851 Remington Road
Marion, IL 62959
(314) 368-3040

PROJECT REVISION:

NO.	DATE	DESCRIPTION
1	11-22-21	FOR REVIEW
2	12-28-21	ARCHITECT CHANGES

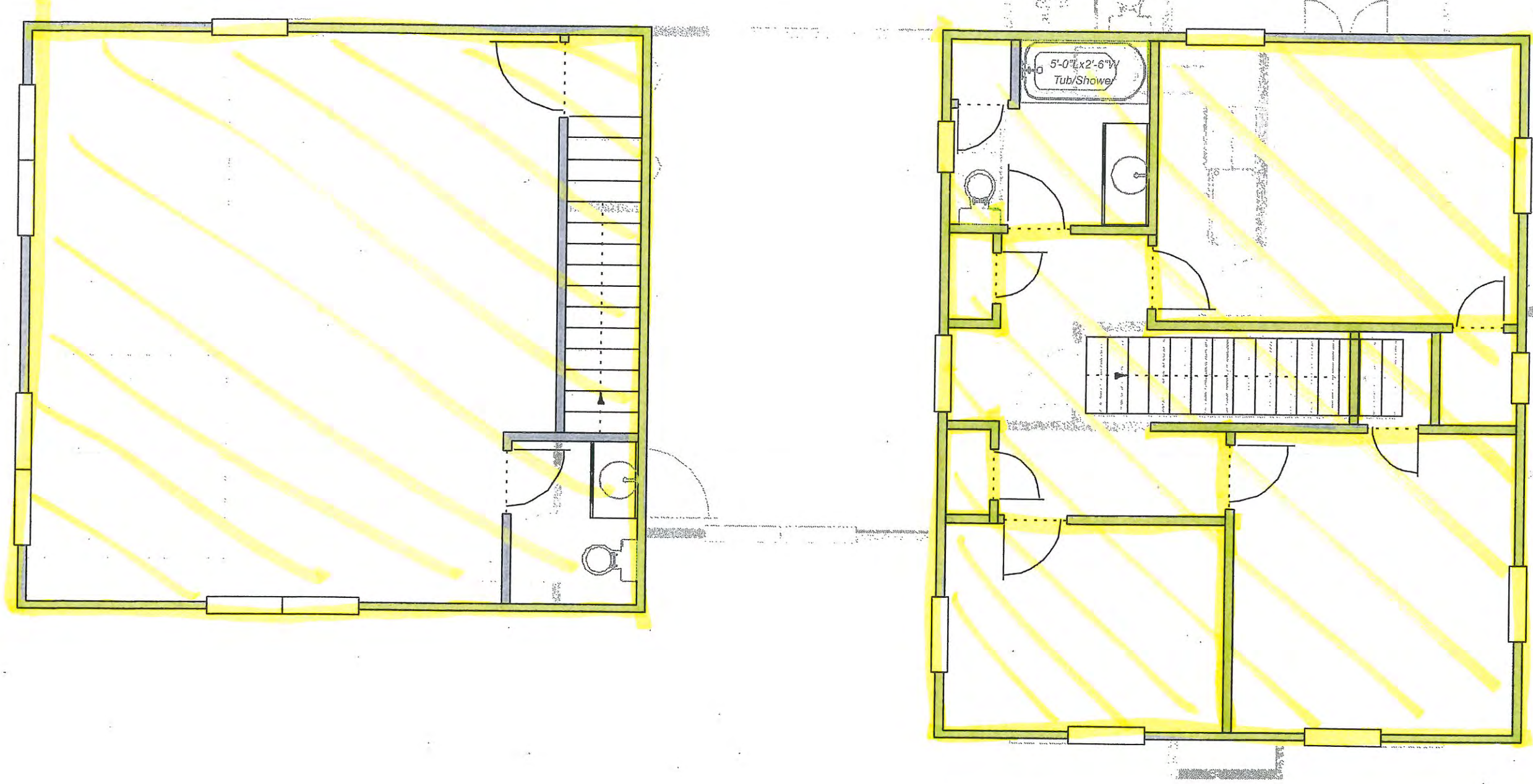
601 E Jefferson Ave.
Kirkwood, MO 63122

DATE: 11-22-21
DRAFTED BY: KB
APPROV. BY: MB

SHEET TITLE:
TYPICAL DETAILS

SHEET NUMBER:
C3

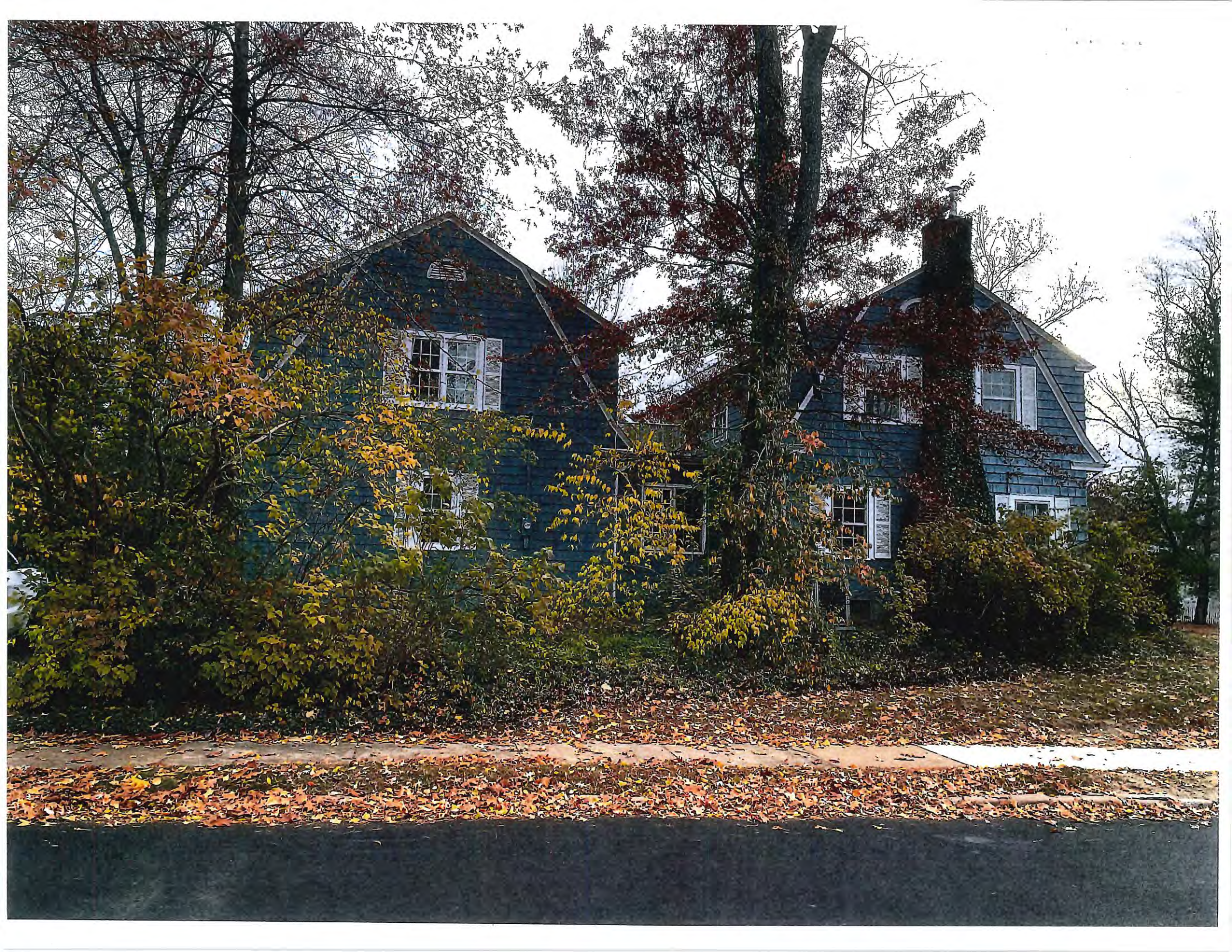
PROJECT NO: 21-822



2nd Floor

Demo Floorplan













Architectural Review Board Application Additions & Detached Structures

DESIGN SUBMISSION APPLICATION

Property Address 427 Heman Dr. Zoned R-4

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work one story two car garage and mud room addition.

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Agape Construction Phone 314.909.9030

Address 435 E. Clinton Pl.

City, State, Zip Kirkwood, MO 63122

E-mail (Agenda will be e-mailed to applicant) tracy@buildagape.com

PROPERTY OWNER

Name Brian & Camile Reinhold Phone (314) 278-6511

Address 427 Heman Dr.

City, State, Zip Kirkwood, MO 63122

ARCHITECT INFORMATION

Name Agape Construction Phone _____

Address _____

City, State, Zip _____

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

Ryan Phlips
Applicant's Signature

12-3-21
Date

City Use Only

Received by ON

Agenda Date 12/20/2021

Case # 186-21R

Permit # 22-3326

Zoning Comments _____

Building Comments _____





Architectural Review Board Application Additions & Detached Structures

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- Addition or Alteration
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: one story two car garage and mudroom addition

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Bungalow
 Number of Stories: 1 Building Height: 19'-9" Number of Roof Lines: 3
 Roof Type: hip/gable Primary Roof Pitch: 8/12
 Secondary Roof Pitch: 6/12 Tertiary Roof Pitch: 8/12

2) Building Materials

Primary Exterior Wall Material: Brick
 Secondary Exterior Wall Material: James Hardie stucco panels
 Tertiary Wall Material: —
 Primary Roof Material: Asphalt shingles
 Secondary Roof Material: —

3) Exterior Windows and Doors

Type of Door: full lite
 Type of Window: Double Hung and fixed Pane Arrangement: 1 over 1

4) Detailing

Foundation Wall Covering: none
 Location of Utility Equipment: North elevation - existing south elevation - proposed
 Screening of Utility Equipment: none

Section C: Site Context Photos

Please attach to this application digital color photographs of all elevations of existing structures on the Subject Parcel. Photos must be a minimum 3"x4" size and may be on multiple pages:

REAR ADDITION & ATTACHED GARAGE

BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122



HALF SIZE PRINT
SCALE: 1/8"=1'-0"

INDEX OF DRAWINGS

- A1 COVER SHEET / SITE PLANS
- A2 EXIST. / DEMO FIRST FLOOR PLAN & PROPOSED FOUNDATION PLAN
- A3 PROPOSED FIRST FLOOR PLAN & FIRST FLOOR ELECTRICAL & LIGHTING PLAN
- A4 EXIST. / DEMO SOUTH & WEST ELEVATIONS & PROPOSED SOUTH & WEST ELEVATIONS
- A5 EXIST. / DEMO NORTH & EAST ELEVATIONS & PROPOSED NORTH & EAST ELEVATIONS

SCOPE OF WORK:

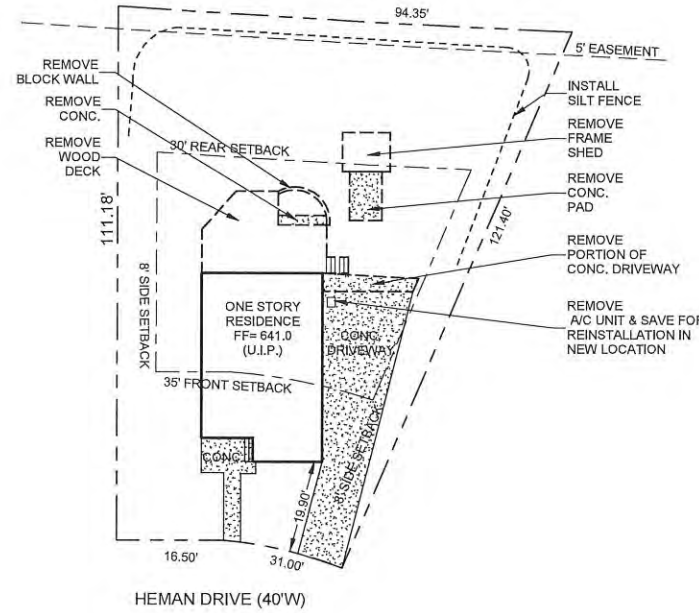
ONE-STORY TWO-CAR GARAGE AND MUD ROOM ADDITION.

APPLICABLE BUILDING CODES:

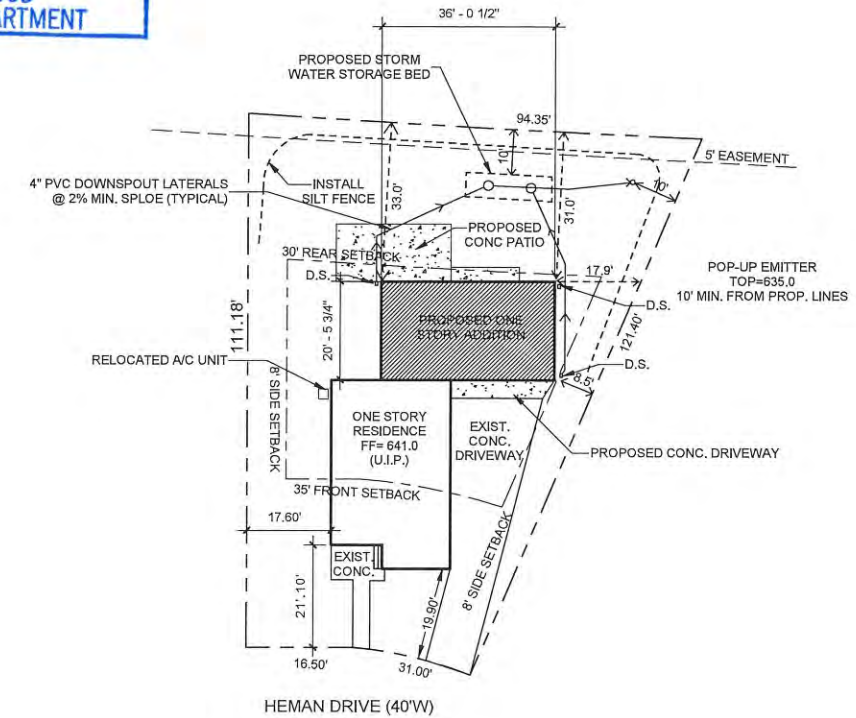
- 2015 IBC (INTERNATIONAL BUILDING CODE)
- 2015 IRC (INTERNATIONAL RESIDENTIAL CODE)
- 2015 IMC (INTERNATIONAL MECHANICAL CODE)
- 2015 IPC (INTERNATIONAL PLUMBING CODE)
- 2008 NEC (NATIONAL ELECTRICAL CODE)

STRUCTURAL DESIGN LOADS:

- ROOF LOAD DESIGN: 40 PSF.
- SNOW LOAD DESIGN: 20 PSF.
- FLOOR LOAD DESIGN: 50 PSF.
- DECK/BALCONY DESIGN: 100 PSF, > 100 S.F.
- WIND LOAD DESIGN: 115 MPH, EXPOSURE "B"
- SEISMIC LOAD DESIGN: 10"
- GUARDRAIL: CONCENTRATED SIDE LOAD OF 200 LBS



1
A1 EXISTING SITE PLAN
1" = 20'-0"



2
A1 PROPOSED SITE PLAN
1" = 20'-0"



LOCATION MAP



PROPERTY OF AGAPE CONSTRUCTION

KEVIN O'BRIEN
PROFESSIONAL ENGINEER
435 EAST CLINTON PLACE
KIRKWOOD, MISSOURI 63122
PHONE: 314.909.9050
FAX: 314.909.9309

KURT KOSTECKI
REGISTERED ARCHITECT
435 EAST CLINTON PLACE
KIRKWOOD, MISSOURI 63122
PHONE: 314.909.9050
FAX: 314.909.9309



REAR ADDITION & ATTACHED GARAGE FOR
BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122

ARB SET
12/03/2021

No.	Description	Date

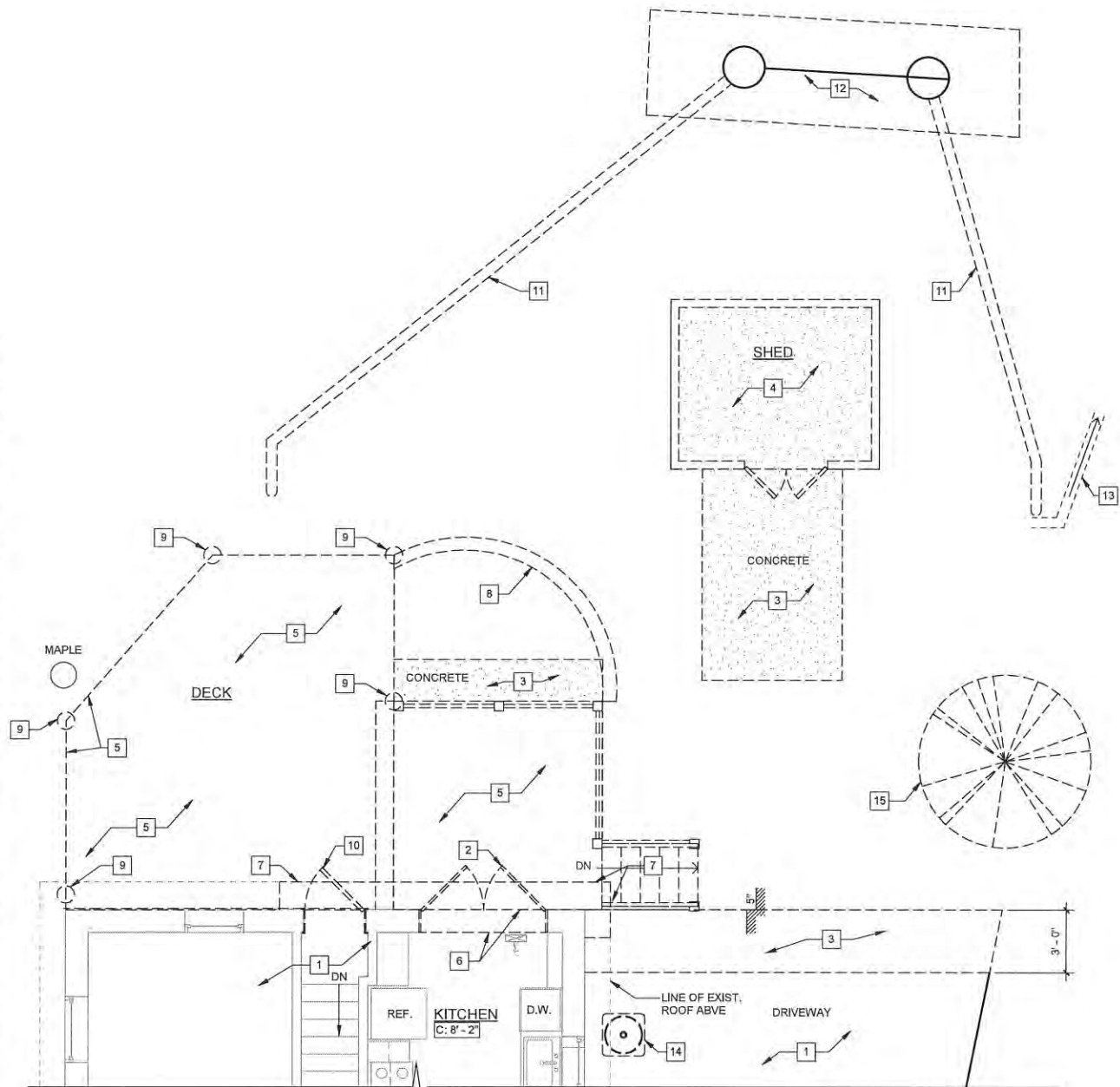
COVER SHEET / SITE PLANS

DRAWN BY: R.P.
CHECKED BY: K.O.B.
SHEET #

A1

HALF SIZE PRINT
SCALE: 1/8"=1'-0"

PROPERTY OF AGAPE CONSTRUCTION

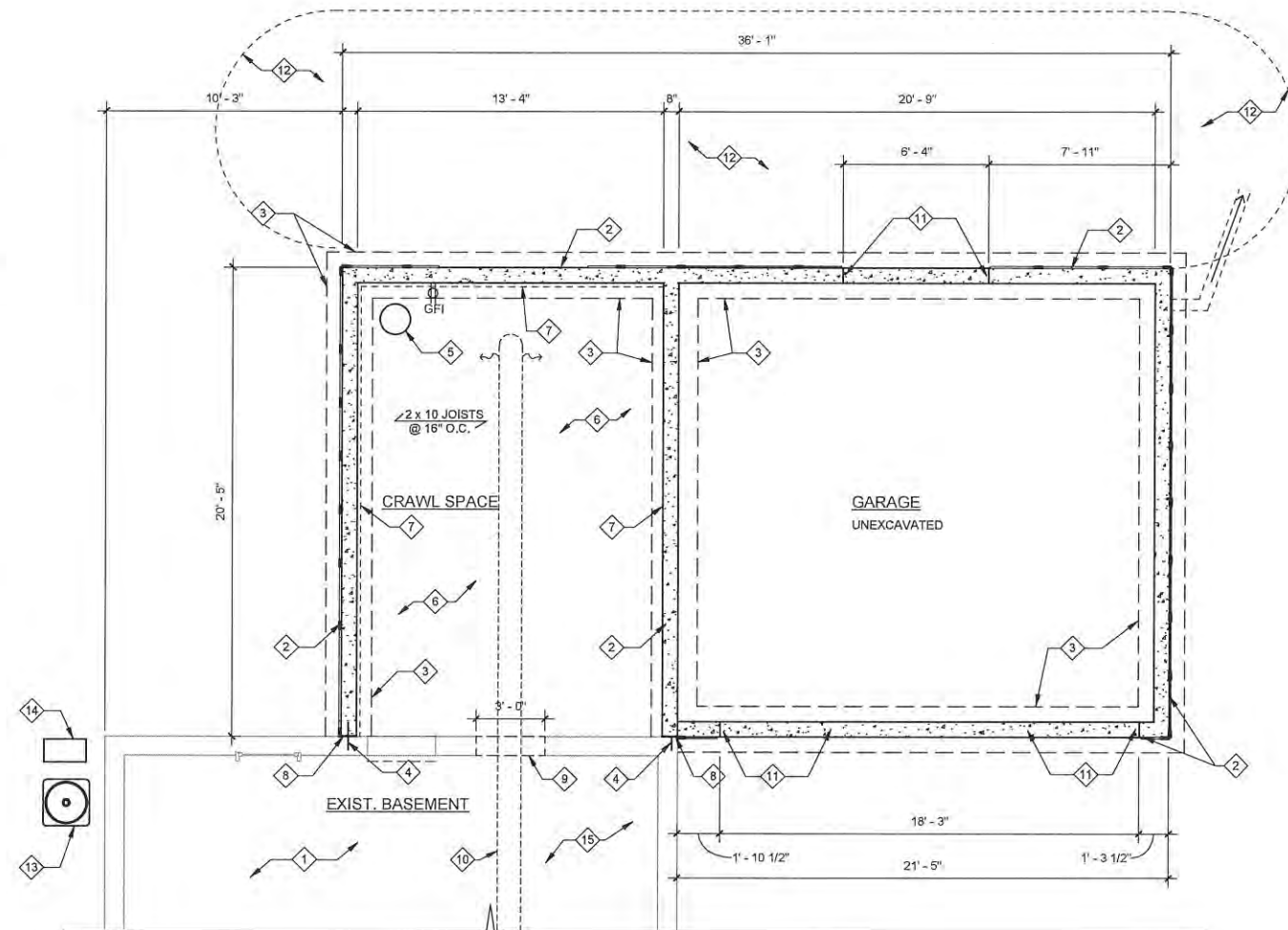


1 FIRST FLOOR DEMOLITION PLAN
A2 1/4" = 1'-0"

DEMO KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE DOOR - SALVAGE & RELOCATE TO REAR OF GARAGE
- 3 REMOVE CONCRETE SLAB
- 4 REMOVE SHED IN ITS ENTIRETY, INCLUDING WALLS, ROOF & FLOORING - **BY OWNER**
- 5 REMOVE DECK IN ITS ENTIRETY, INCLUDING LEDGER, DECKING, RAILS, JOISTS, & STEPS - **BY OWNER**
- 6 REMOVE HEADER FOR NEW ARCH PASSAGEWAY
- 7 REMOVE ROOF STRUCTURE ABOVE - INCLUDING SOFFIT, FASCIA, RAFTERS, & GUTTERS
- 8 REMOVE RETAINING WALL - **BY OWNER**
- 9 REMOVE CONCRETE PIERS
- 10 REMOVE DOOR
- 11 TRENCH FOR 4" PVC DOWNSPOUT LATERALS
- 12 EXCAVATE FOR STORM WATER STORAGE BED
- 13 TRENCH FOR UNDERGROUND ELECTRICAL SERVICE
- 14 RELOCATE A/C UNIT
- 15 REMOVE TREE & STUMP

NOTE: REMOVE OVERHEAD ELECTRICAL SERVICE



2 PROPOSED FOUNDATION PLAN
A2 1/4" = 1'-0"

KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 8" FDN. WALL W / (2) #4 CONTINUOUS TOP & BOTTOM
- 3 24" W. x 8" D. CONCRETE FOOTING W / (2) #4 CONTINUOUS BOTTOM BAR - MIN. 3" COVER
- 4 #4 DOWELS 1' - 0" VERT. IN FDN. WALL & AT FOOTING - DRILLED INTO EXIST. FDN. WALL - 1' - 0" LONG W / MIN. 4" EMBED INTO EXIST. FDN. WALL
- 5 SUMP PIT - NO PUMP
- 6 4" GRANULAR FILL OVER VAPOR BARRIER - MIN. 6" BELOW OF CRAWL SPACE OPENING
- 7 2" RIGID INSULATION - NFPA 286 - FM4880
- 8 COLD JOINT @ EXIST. FDN. / NEW FDN. - SEAL JOINTS W / BUTYL STRIPS ON BOTH SIDE OF WALL
- 9 SAW CUT EXIST. FDN. FOR 6" HVAC DUCT & CRAWL SPACE ACCESS - H. 24" x W. 36" MIN.
- 10 HVAC 6" SUPPLY FOR CRAWL SPACE
- 11 HOLD DOWN FDN. WALL
- 12 IN-FILL GRADING TO RAISE NEW GRADE
- 13 RELOCATED A/C UNIT
- 14 MINISPLIT CONDENSING UNIT
- 15 DEMO - PATCH DRYWALL & PAINT AFFECTED CEILING & WALLS

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Agape
ARCHITECTURE / DESIGN
REMODEL / BUILD

REAR ADDITION & ATTACHED GARAGE
FOR
BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122

ARB SET
12/03/2021

No.	Description	Date

EXIST. / DEMO FIRST FLOOR
PLAN & PROPOSED
FOUNDATION PLAN

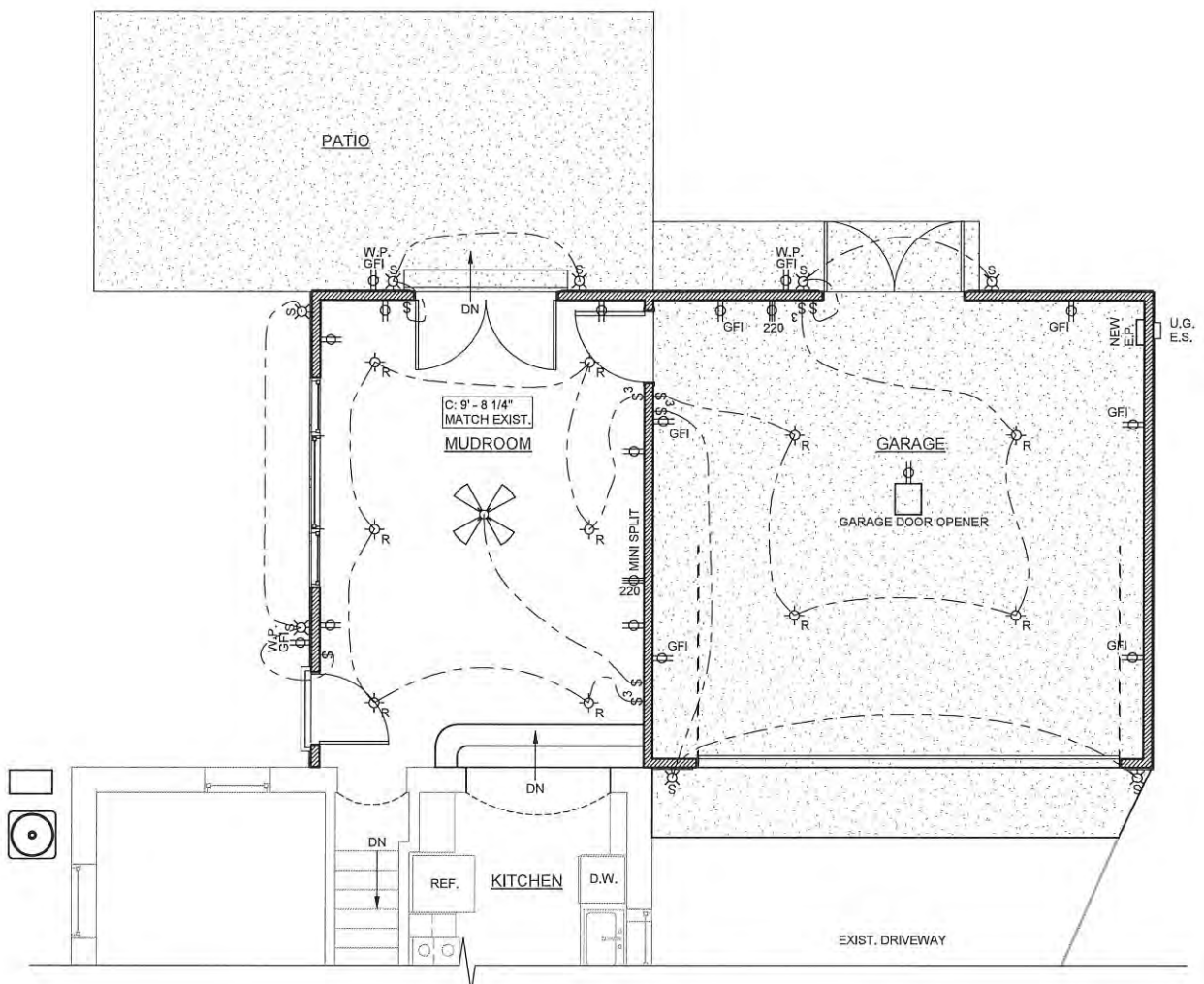
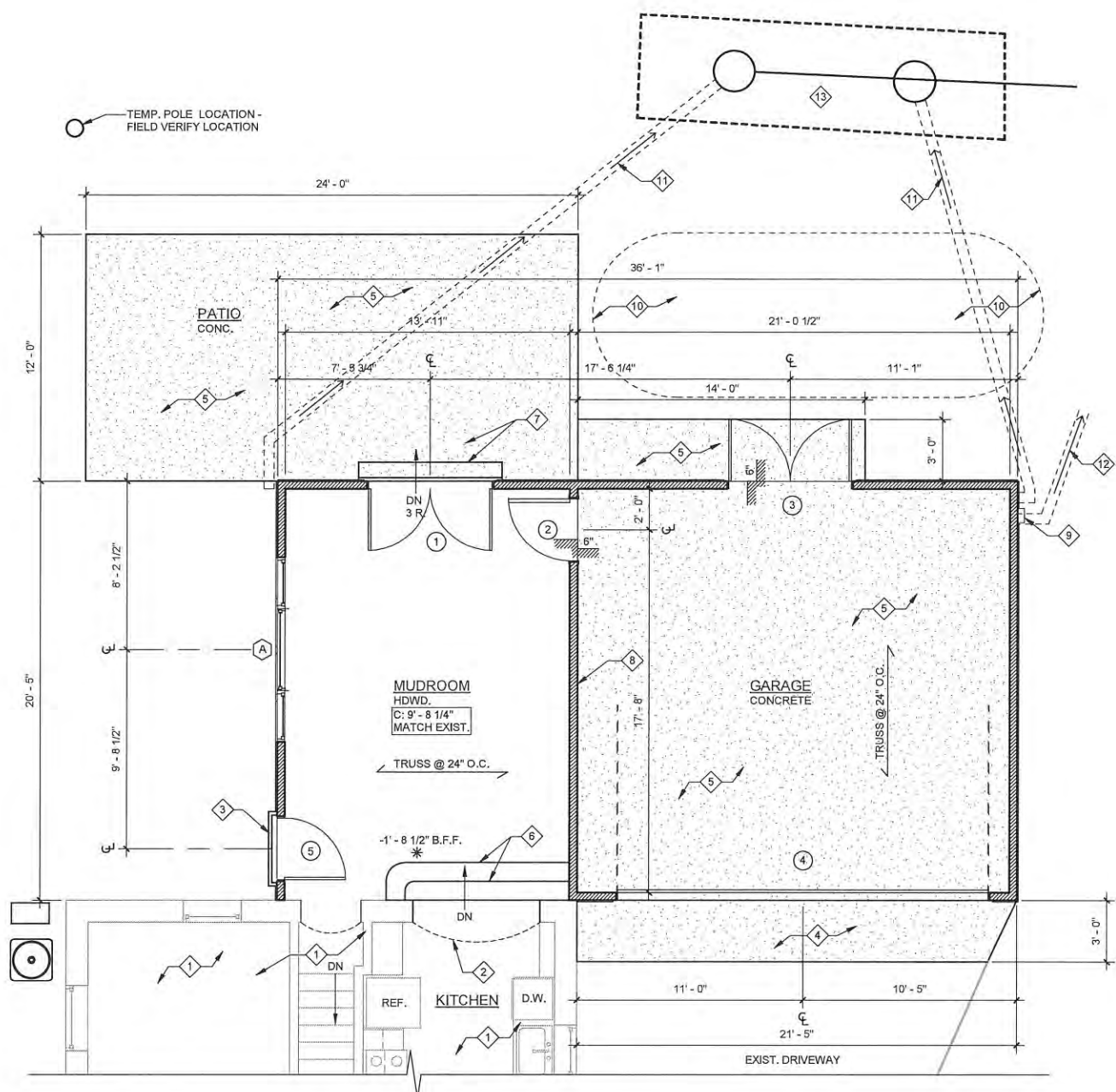
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1 A3 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

2 A3 PROPOSED FIRST FLOOR ELECTRICAL & LIGHTING PLAN
1/4" = 1'-0"

KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 ARCHED PASSAGE WAY
- 3 SECURITY RAILINGS
- 4 CONCRETE SLAB ON GRANULAR FILL ON GRADE - APPROACH
- 5 4" CONCRETE SLAB ON GRANULAR FILL ON GRADE
- 6 (2) WOOD STEPS - HDWD.
- 7 (2) CONCRETE STEPS
- 8 WALL TO HAVE 5/8" TYPE "X" G.W.B. ON FIRE WALL & GARAGE CEILING
- 9 RELOCATED UNDERGROUND ELECTRICAL SERVICE
- 10 IN-FILL GRADING TO RAISE GRADE
- 11 4" PVC DOWNSPOUT LATERALS
- 12 UNDERGROUND ELECTRICAL SERVICE
- 13 DRYWELL PER SPECIFICATIONS

KEY

- EXISTING WALL
- NEW 2X4 STUDS @ 16" O.C.

DOOR SCHEDULE

- 1 6'-0" X 6'-8" DOUBLE FULL LITE GLASS DOOR
- 2 3'-0" X 6'-8" 20 MIN. FIRE RATED STEEL DOOR
- 3 6'-0" X 6'-8" 6 - PANEL DOUBLE DOOR - RELOCATED FROM REAR OF HOUSE
- 4 18'-0" X 8'-0" GARAGE DOOR W / ELECTRIC OPENER
- 5 3'-0" X 6'-8" FULL LITE GLASS DOOR

WINDOW SCHEDULE

- A 9'-0" X 5'-8" UNIT - W / (1) 4'-0" FIXED VINYL @ CENTER & (2) 2'-6" DOUBLE HUNG ALL TEMPERED

INSULATION

- WALLS R-13
- FLOOR R-19
- CEILING R-38

ELECTRICAL & LIGHTING LEGEND

- S - SINGLE POLE SWITCH
- S₃ - THREE-WAY SWITCH
- ⊙ - 6" RECESSED CAN LIGHT FIXTURE
- ⊕ - DUPLEX RECEPTACLE
- ⊙ - SCONCE/WALL MOUNTED LIGHT FIXTURE
- W.P. GFI - WATER PROOF GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊙ - CEILING FAN WITH LIGHT KIT

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Agape
ARCHITECTURE DESIGN
REMODEL BUILD

REAR ADDITION & ATTACHED GARAGE
FOR
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12/03/2021

No.	Description	Date

PROPOSED FIRST FLOOR
PLAN & FIRST FLOOR
ELECTRICAL & LIGHTING
PLAN

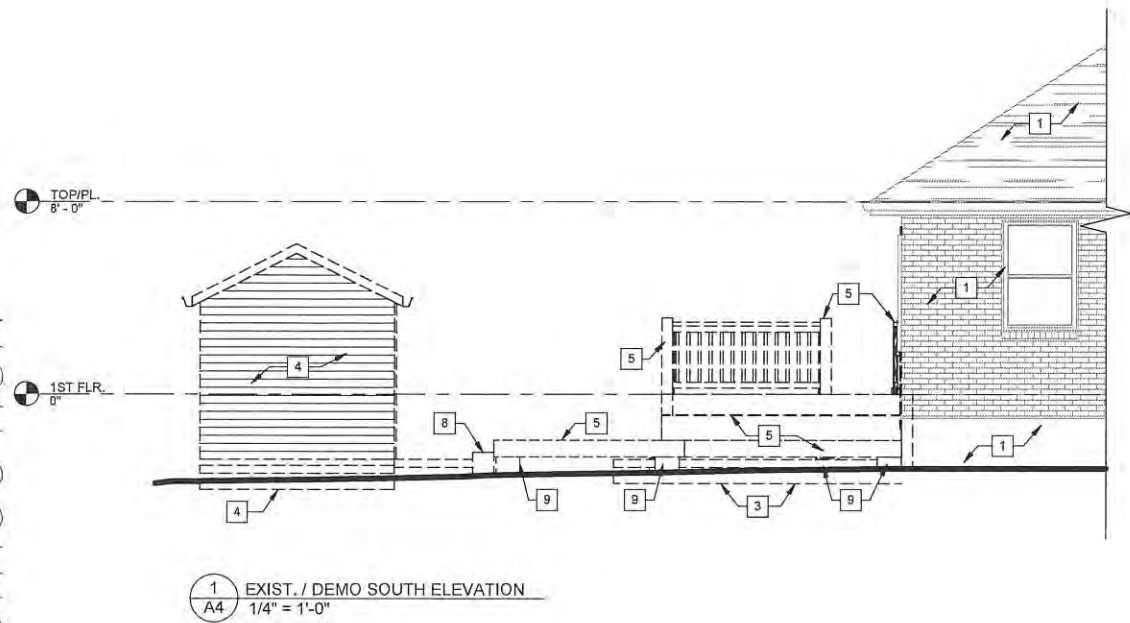
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PROPERTY OF AGAPE CONSTRUCTION

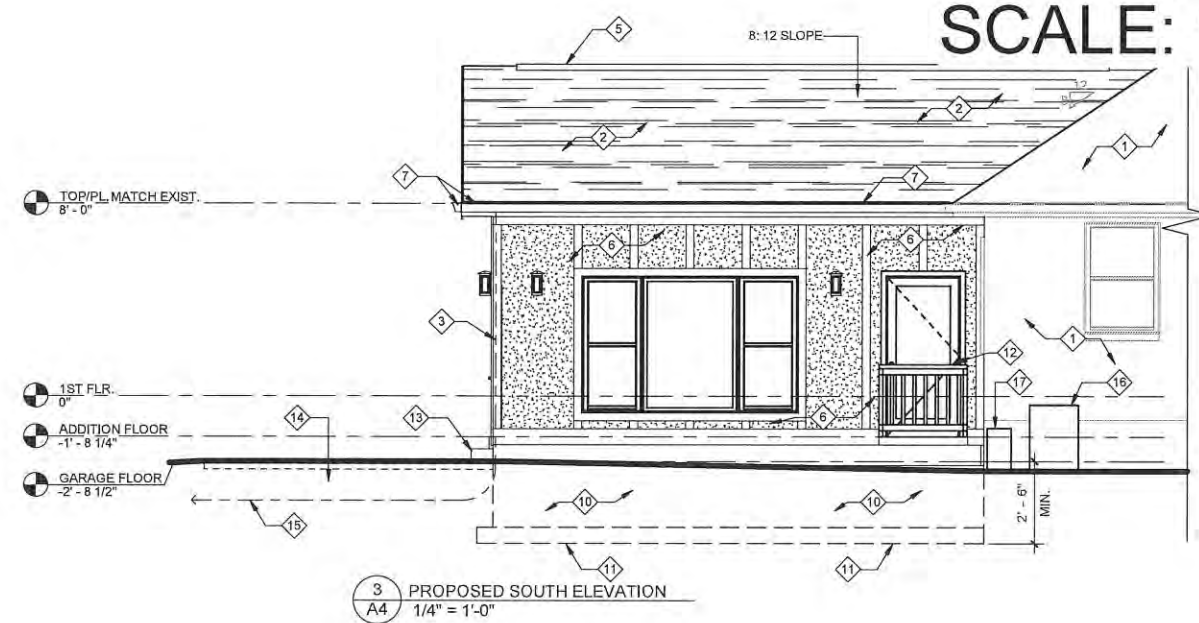
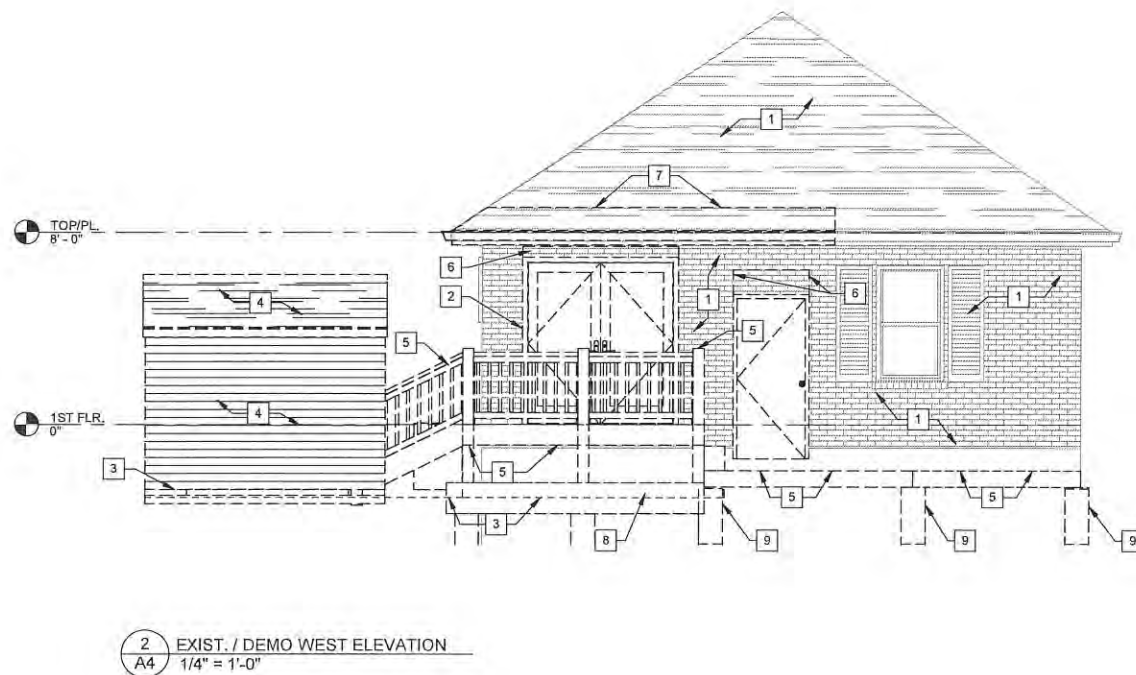
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ELEVATION DEMO KEYED NOTES

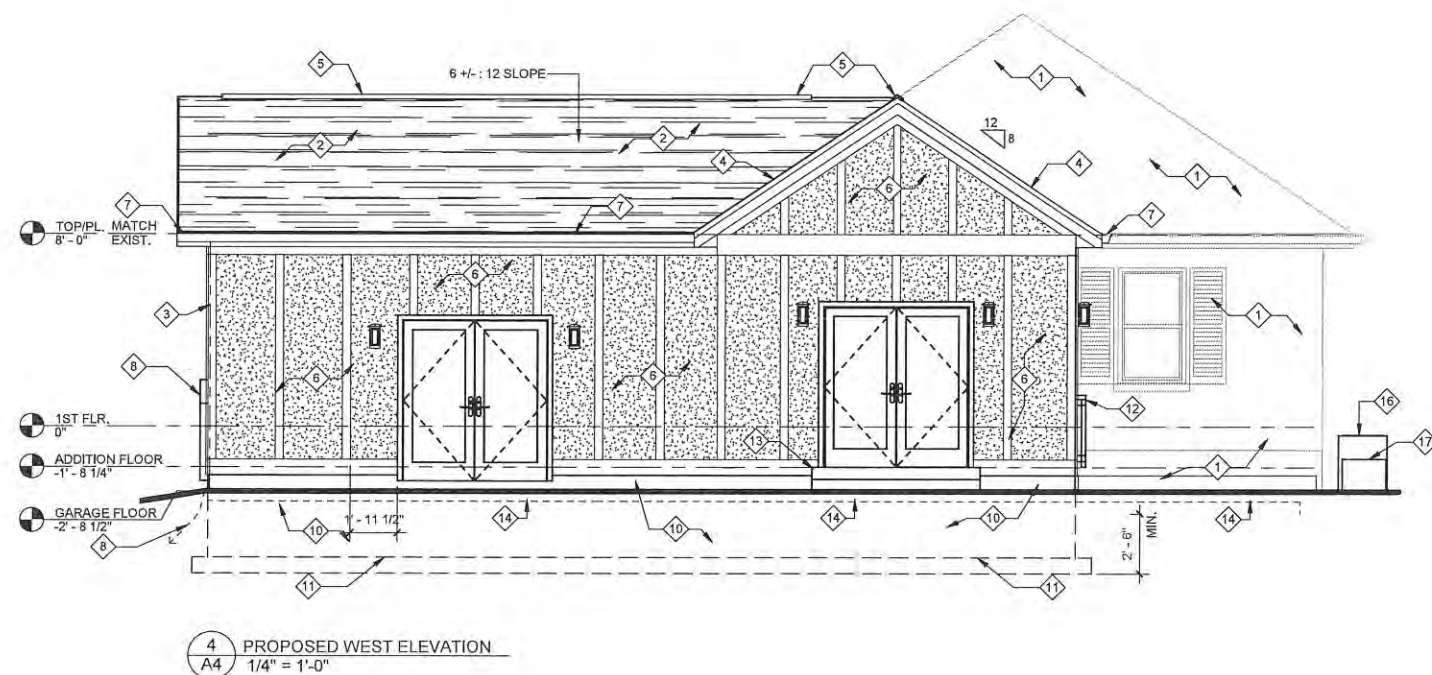
- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE DOOR
- 3 REMOVE CONCRETE SLAB
- 4 REMOVE SHED IN IT'S ENTIRETY - INCLUDING WALLS, ROOF, & FLOORING - **BY OWNER**
- 5 REMOVE DECK IN IT'S ENTIRETY - INCLUDING LEDGER, DECKING, RAILS, JOISTS, & STEPS - **BY OWNER**
- 6 REMOVE HEADER FOR NEW ARCH PASSAGEWAY
- 7 REMOVE ROOF STRUCTURE - INCLUDING SOFFIT, FASCIA, RAFTERS & GUTTERS
- 8 REMOVE RETAINING WALL - **BY OWNER**
- 9 REMOVE CONCRETE PIERS
- 10 RELOCATE A/C UNIT

NOTE: REMOVE OVERHEAD ELECTRICAL SERVICE



ELEVATION KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 30 YEAR ASPHALT SHINGLES
- 3 METAL DOWNSPOUT
- 4 2 x FASCIA W / SHINGLE MOLD W / ALUMINUM WRAP & ALUMINUM SOFFIT
- 5 RIDGE VENT
- 6 JAMES HARDING STUCCO PANELS W/ TRIM
- 7 METAL GUTTER ON 2 x FASCIA
- 8 UNDERGROUND ELECTRICAL SERVICE
- 9 NOT USED
- 10 CONCRETE FOUNDATION WALL
- 11 24" W. x 8" D CONC. FOOTING - MIN. 2' - 6" BELOW GRADE
- 12 SAFETY RAIL
- 13 CONCRETE STEP
- 14 CONCRETE PAD ON GRANULAR FILL ON GRADE
- 15 4" PVC DOWNSPOUT LATERAL
- 16 RELOCATED A/C UNIT
- 17 MINI SPLIT CONDENSOR



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REAR ADDITION & ATTACHED GARAGE FOR
BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122

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12/03/2021

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EXIST./ DEMO SOUTH & WEST ELEVATIONS & PROPOSED SOUTH & WEST ELEVATIONS

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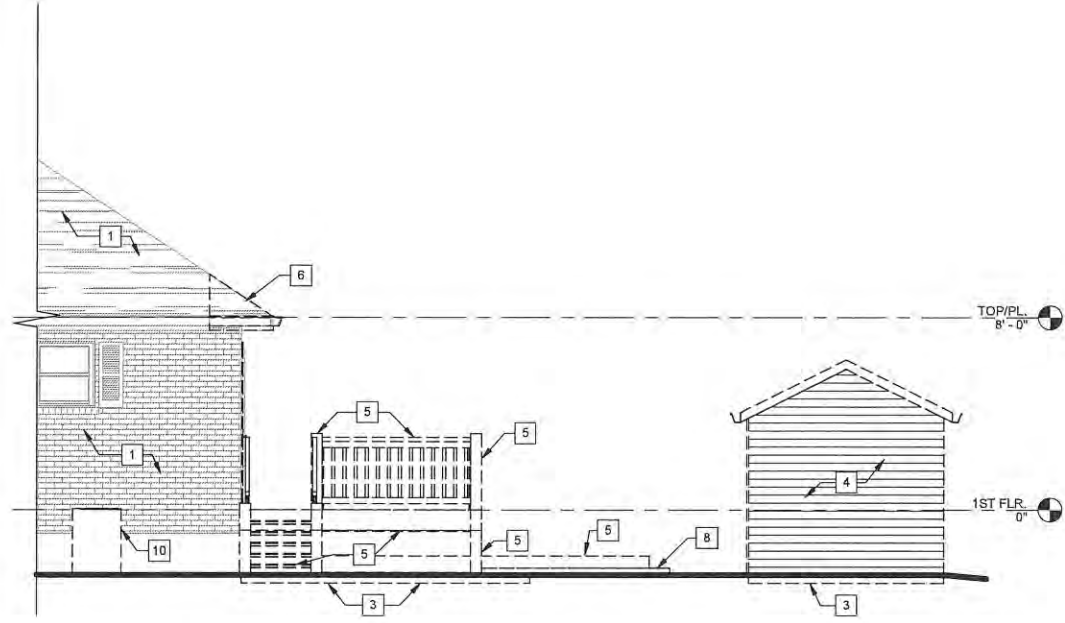
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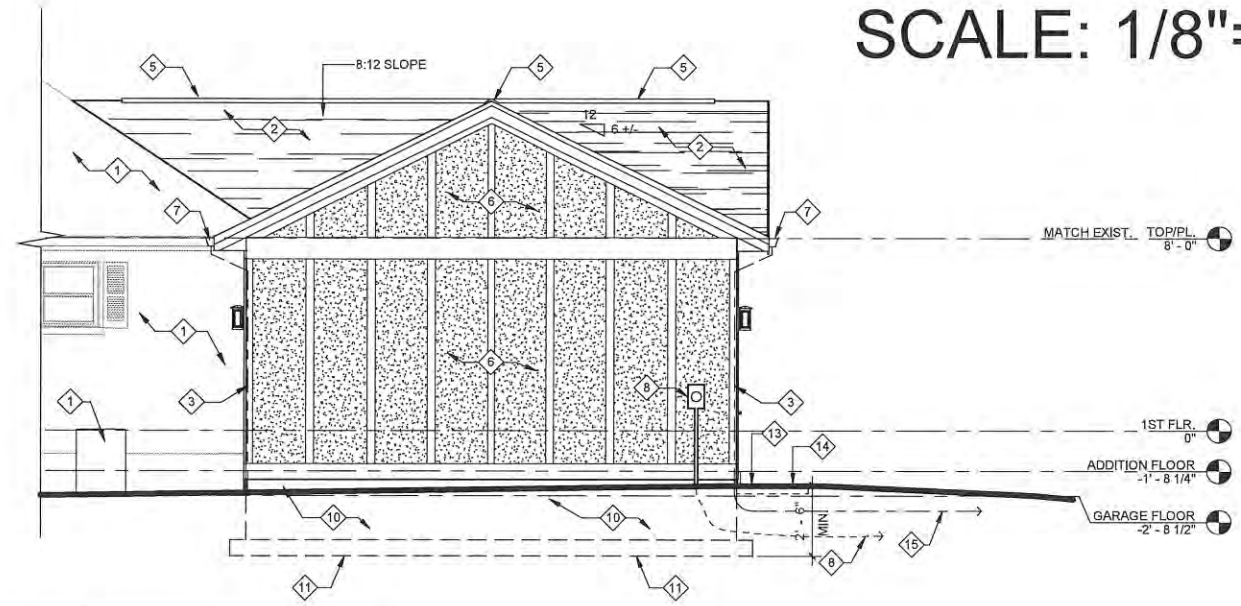


1 EXIST. / DEMO NORTH ELEVATION
A5 1/4" = 1'-0"

ELEVATION DEMO KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE DOOR
- 3 REMOVE CONCRETE SLAB
- 4 REMOVE SHED IN IT'S ENTIRETY - INCLUDING WALLS, ROOF, & FLOORING - **BY OWNER**
- 5 REMOVE DECK IN IT'S ENTIRETY - INCLUDING LEDGER, DECKING, RAILS, JOISTS, & STEPS - **BY OWNER**
- 6 REMOVE HEADER FOR NEW ARCH PASSAGEWAY
- 7 REMOVE ROOF STRUCTURE - INCLUDING SOFFIT, FASCIA, RAFTERS & GUTTERS
- 8 REMOVE RETAINING WALL - **BY OWNER**
- 9 REMOVE CONCRETE PIERS
- 10 RELOCATE A/C UNIT

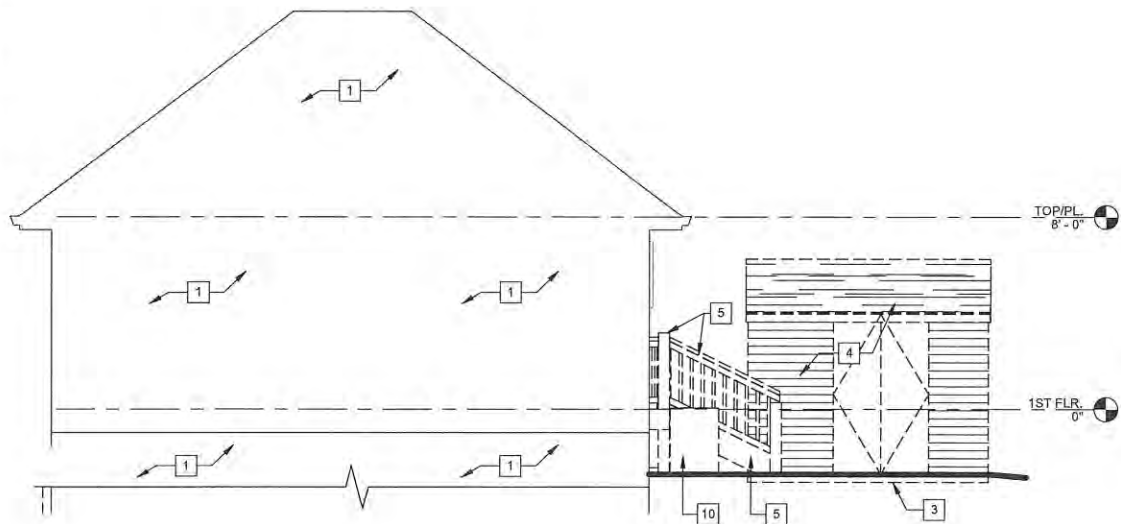
NOTE: REMOVE OVERHEAD ELECTRICAL SERVICE



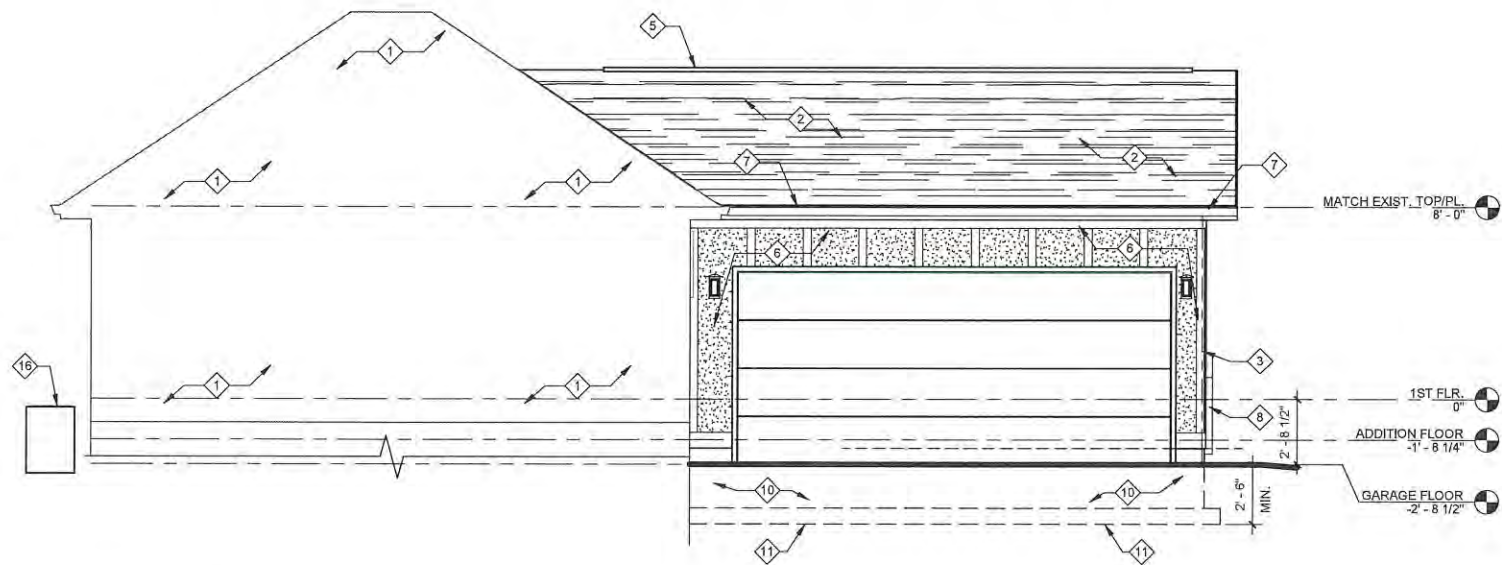
2 PROPOSED NORTH ELEVATION
A5 1/4" = 1'-0"

ELEVATION KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 30 YEAR ASPHALT SHINGLES
- 3 METAL DOWNSPOUT
- 4 2 x FASCIA W / SHINGLE MOLD W / ALUMINUM WRAP & ALUMINUM SOFFIT
- 5 RIDGE VENT
- 6 JAMES HARDING STUCCO PANELS W/ TRIM
- 7 METAL GUTTER ON 2 x FASCIA
- 8 UNDERGROUND ELECTRICAL SERVICE
- 9 NOT USED
- 10 CONCRETE FOUNDATION WALL
- 11 24" W. x 8" D CONC. FOOTING - MIN. 2' - 6" BELOW GRADE
- 12 SAFETY RAIL
- 13 CONCRETE STEP
- 14 CONCRETE PAD ON GRANULAR FILL ON GRADE
- 15 4" PVC DOWNSPOUT LATERAL
- 16 RELOCATED A/C UNIT
- 17 MINI SPLIT CONDENSOR



3 EXIST. / DEMO EAST ELEVATION
A5 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION
A5 1/4" = 1'-0"

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Agape
ARCHITECTURE / DESIGN
REMODEL / BUILD

REAR ADDITION & ATTACHED GARAGE
FOR
BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122

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12/03/2021

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EXIST. / DEMO NORTH & EAST ELEVATIONS & PROPOSED NORTH & EAST ELEVATIONS

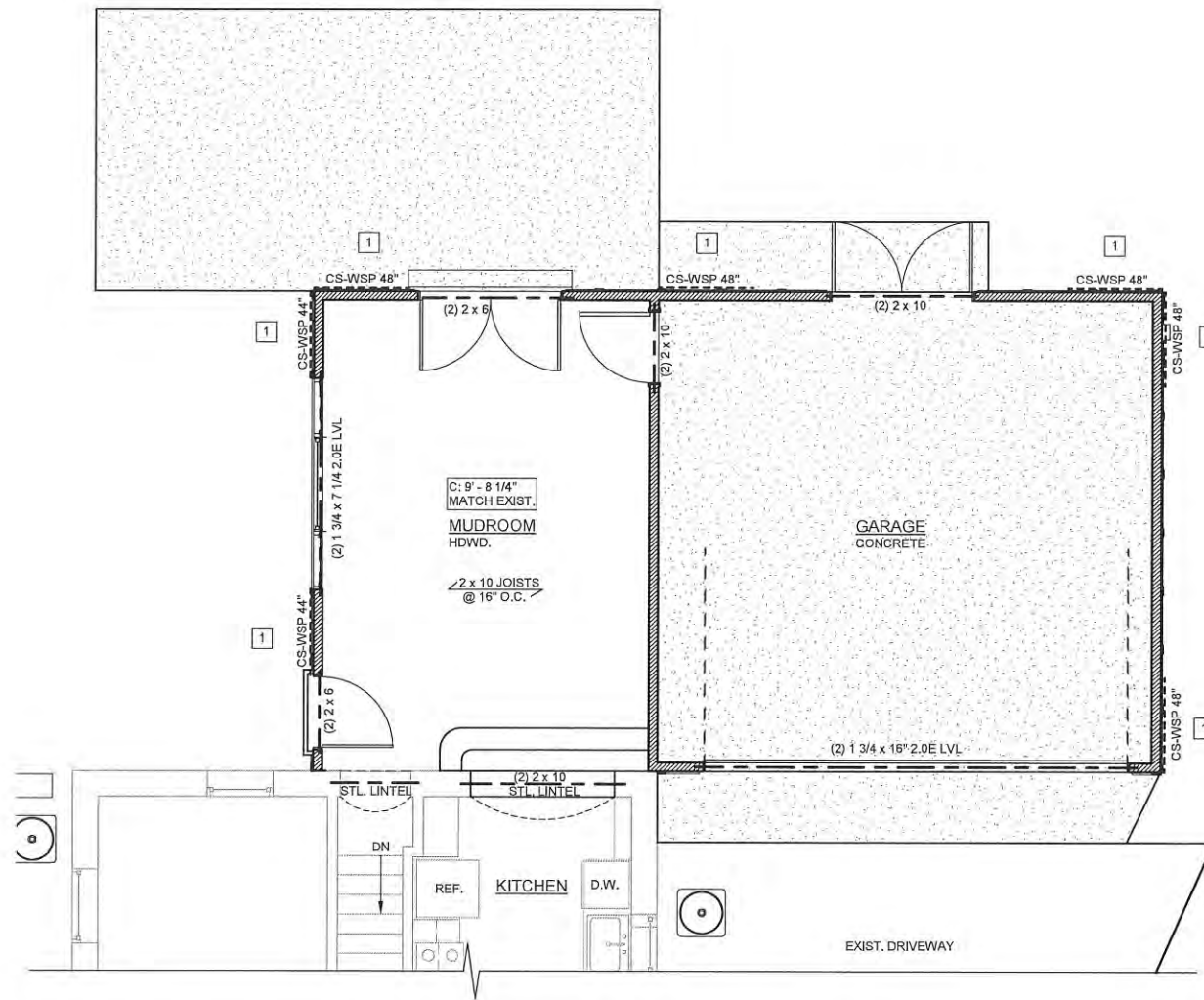
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1 ADDITION STRUCTURAL PLAN
S1 1/4" = 1'-0"

WALL BRACING KEYED NOTES

CONTINUOUSLY SHEATHED METHOD

1 EXTERIOR BRACED WALL PANEL:

- EXTERIOR WALL BRACED WALL PANELS (BWP) TO BE OF TYPE CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL (CS-WSP) UNO.
- CS-WSP BWP TO BE APPLIED AT FULL HEIGHT TO EXTERIOR WALLS, GABLE ENDS AND BAND BOARDS.
- CS-WSP BWP TO MEET LENGTH REQUIREMENTS FOR BRACED WALL PANELS AS INDICATED IN 2015 IRC TABLE R602.10.3(1).
- CS-WSP BWP OF LENGTH REQUIRED PER 2015 IRC TABLE R602.10.3(1) TO BE PROVIDED AT END OF EACH BRACED WALL LINE AND THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANELS SHALL NOT EXCEED 20'-0".
- VERTICAL JOINTS IN CS-WSP BWP TO BE ATTACHED TO COMMON STUD. HORIZONTAL JOINTS IN CS-WSP BWP TO BE ATTACHED TO COMMON 1-1/2" MINIMUM BLOCKING.
- CS-WSP PANELS TO BE FASTENED WITH 6d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" SPACING AT INTERMEDIATE SUPPORTS OR WITH 16ga x 1-3/4" STAPLES AT 3" SPACING AT PANEL EDGES AND 6" SPACING AT INTERMEDIATE SUPPORTS.

2 INTERIOR BRACED WALL PANEL:

- INTERIOR WALL BRACED WALL PANELS TO BE OF INTERMITTENT BRACING METHOD TYPE GYPSUM BOARD (GB).
- GB BWP TO MEET LENGTH REQUIREMENTS FOR BRACED WALL PANELS AS INDICATED IN 2015 IRC TABLE R602.10.3(1). ASSUMING APPLICATION OF 1/2" MIN GYPSUM BOARD TO BOTH SIDES OF A WALL. WHEN 1/2" MIN GYPSUM BOARD IS APPLIED TO ONE SIDE ONLY, THE REQUIRED BRACING LENGTH SHALL BE DOUBLED.
- GB PANELS TO BE FASTENED AT ALL EDGES (INCLUDING TOP AND BOTTOM) WITH NAILS OR SCREWS AT 7" MIN SPACING.
- INTERIOR BWP TO BE ATTACHED TO FLOOR/CEILING FRAMING ABOVE AND BELOW. WHEN FRAMING IS PERPENDICULAR TO BRACED WALL, PROVIDE MEMBER HEIGHT PERPENDICULAR BLOCKING AT 16" O.C. WHEN FRAMING IS PARALLEL TO BRACED WALL LINE, PROVIDE ADDITIONAL PARALLEL FRAMING MEMBER OR FULL MEMBER HEIGHT PERPENDICULAR BLOCKING AT 16" O.C. BETWEEN FRAMING MEMBERS. BRACED WALL PANEL TOP PLATE TO BE ATTACHED WITH 8d NAILS AT 6" O.C. OR WITH 3-8d NAILS AT EACH PERPENDICULAR BLOCKING MEMBER. BRACED WALL PANEL SILL TO BE ATTACHED WITH 3-16d NAILS AT 16" O.C. OR AT EACH PERPENDICULAR BLOCKING MEMBER.

3 PORTAL FRAMING:

- PORTAL FRAMING TO BE OF CONTINUOUSLY SHEATHED PORTAL FRAME (CS-PF) (IRC FIGURE R602.10.6.4) OR PORTAL FRAME WITH HOLD-DOWNS (PFH) TYPE (IRC FIGURE R602.10.6.2) ADJACENT TO WINDOWS AND DOORS OR PORTAL FRAME AT GARAGE (PFG) TYPE (IRC FIGURE R602.10.6.3) ADJACENT TO GARAGE DOOR OPENINGS UNLESS NOTED OTHERWISE.

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REAR ADDITION & ATTACHED GARAGE FOR
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427 HEMAN DR.
KIRKWOOD, MO. 63122

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EXISTING CONDITIONS- EAST FRONT ELEVATION



EXISTING CONDITIONS- NORTH SIDE ELEVATION



EXISTING CONDITIONS- NORTH SIDE ELEVATION



EXISTING CONDITIONS- WEST REAR ELEVATION

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REAR ADDITION & ATTACHED GARAGE
FOR
BRIAN & CAMILE REINHOLD
427 HEMAN DR.
KIRKWOOD, MO. 63122

ARB SET
12/03/2021

REVISIONS

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EXISTING CONDITIONS- NORTH SIDE ELEVATION



EXISTING CONDITIONS- SOUTH SIDE ELEVATION



EXISTING CONDITIONS- WEST REAR ELEVATION

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FOR
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427 HEMAN DR.
KIRKWOOD, MO. 63122

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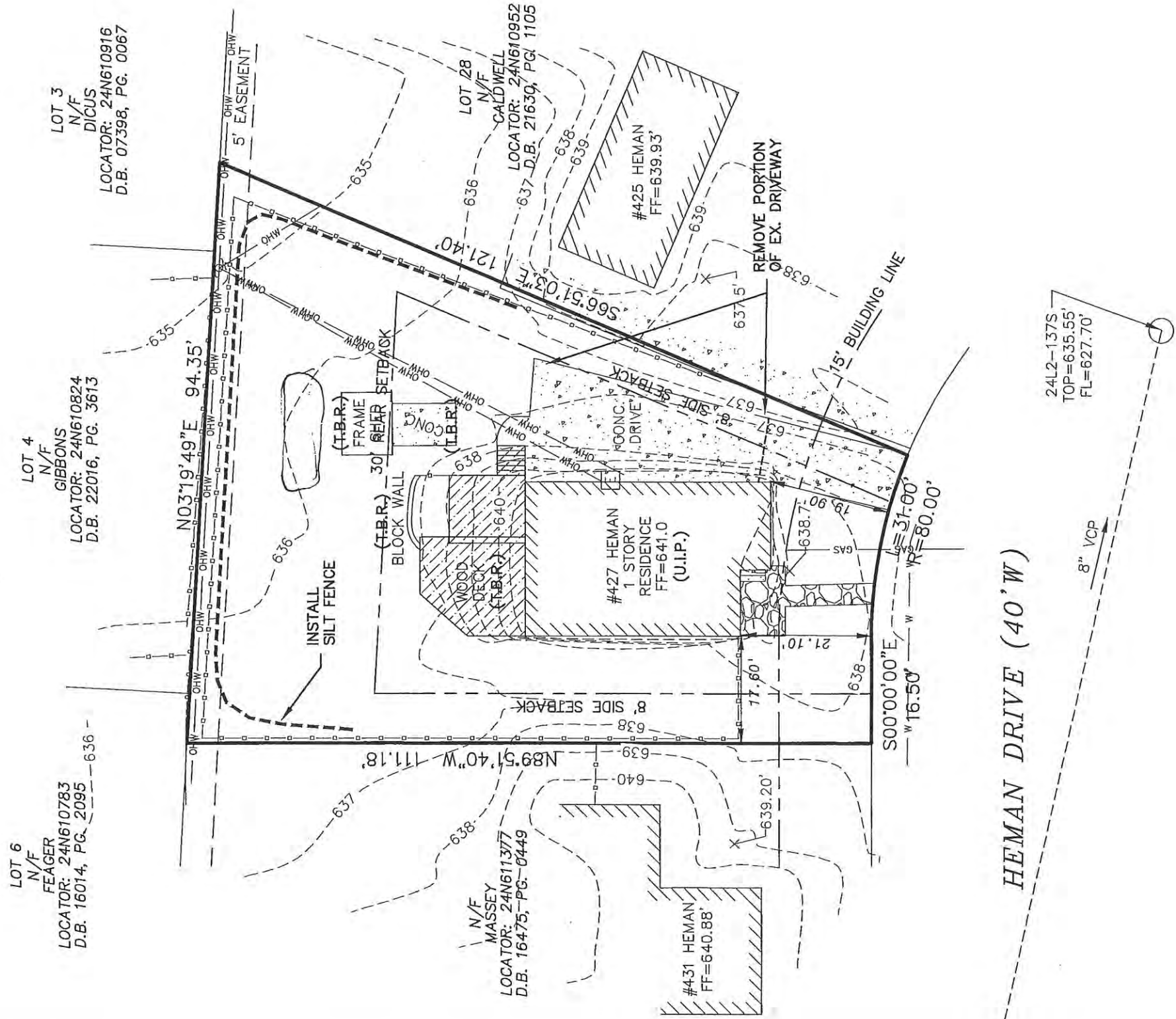
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S3



1 inch = 20 ft.



Existing Conditions / Demo Plan



Vance Engineering, Inc.
10537 Lackland Road
St. Louis, MO 63114
P: 314.427.1800

VANCE ENGINEERING, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

PREPARED FOR:

Brian Reinhold
427 Heman Drive
Kirkwood, MO 63122

06/15/2021 JOB #21016 2 OF 9



6/15/21
MICHAEL CLAY VANCE, P.E.
E-25616



Architectural Review Board Application
New Single Family Residence (SFR)

DESIGN SUBMISSION APPLICATION

Property Address 2025 Lily Ave Zoned R-3

Is the property a Kirkwood Landmark? Yes No In a Local Historic District? Yes No

Complete scope of work New Custom Home

Construction Type/Fee: New House/\$150 Addition/\$100 Accessory Structure or Other/\$100

APPLICANT

Name Jane Ann Forney Phone 314-394-2242

Address 9920 Watson Rd, Suite 115

City, State, Zip St. Louis, MO 63126

E-mail (Agenda will be e-mailed to applicant) Janeann@forneyplus.com

PROPERTY OWNER

Name O+L LLC Phone 314-366-1102

Address 11994 Sackston Ridge Dr.

City, State, Zip St. Louis, MO 63141

ARCHITECT INFORMATION

Name Forney + architecture Phone 314-394-2242

Address 9920 Watson Rd, Suite 115

City, State, Zip St. Louis, MO 63126

I agree to fully comply with the ordinances of the City of Kirkwood, including Architectural Review, Zoning, Stormwater and Building regulations. I hereby certify that the project is located on property for which I have the legal right to construct, that the owner(s) of record authorizes the proposed work, and that I have been authorized by the owner(s) to make this application as their agent. Applicants or their representative shall attend all meetings.

[Handwritten Signature]

Applicant's Signature

12-20-21
Date

City Use Only

Received by [Signature]

Agenda Date 01/03/2022

Case # 02-22R

Permit # 22-3505

Zoning Comments _____

Building Comments _____





Architectural Review Board Application

New Single Family Residence (SFR)

PROJECT DESCRIPTION WORKSHEET

Section A: General Information

Nature of Application (Check all that apply):

- New Single Family Residence
- Accessory Structure (Please Specify): _____
- Other (Please Specify): _____

Description of Work: new custom home

Section B: Site Context

1) Building Form and Articulation

Architectural Style: Contemporary Farm house

Number of Stories: 1-1/2 Building Height: 28'4" Number of Roof Lines: 0

Roof Type: gable Primary Roof Pitch: 12:12

Secondary Roof Pitch: 9:12 Tertiary Roof Pitch: 5:12

2) Building Materials

Primary Exterior Wall Material: Vinyl Siding

Secondary Exterior Wall Material: Stone veneer accents

Tertiary Wall Material: N/A

Primary Roof Material: Asphalt shingles

Secondary Roof Material: _____

3) Exterior Windows and Doors

Type of Door: 2/3 glazed w/ side lites

Type of Window: double hung, Fixed Pane Arrangement: 2x2 cottage

4) Detailing

Foundation Wall Covering: cast Stone + vinyl siding

Location of Utility Equipment: Right side, behind garage

Screening of Utility Equipment: landscaping

Section C: Neighborhood Context (New Primary Construction Only)

Material Palette: Any material present on 20% or more of the front facades of existing houses within your Neighborhood Context is considered a Predominant Material (there may be more than one). If a single material is dominant on more than 70% of the houses within the site context that material is considered to be the Single Dominant Material.

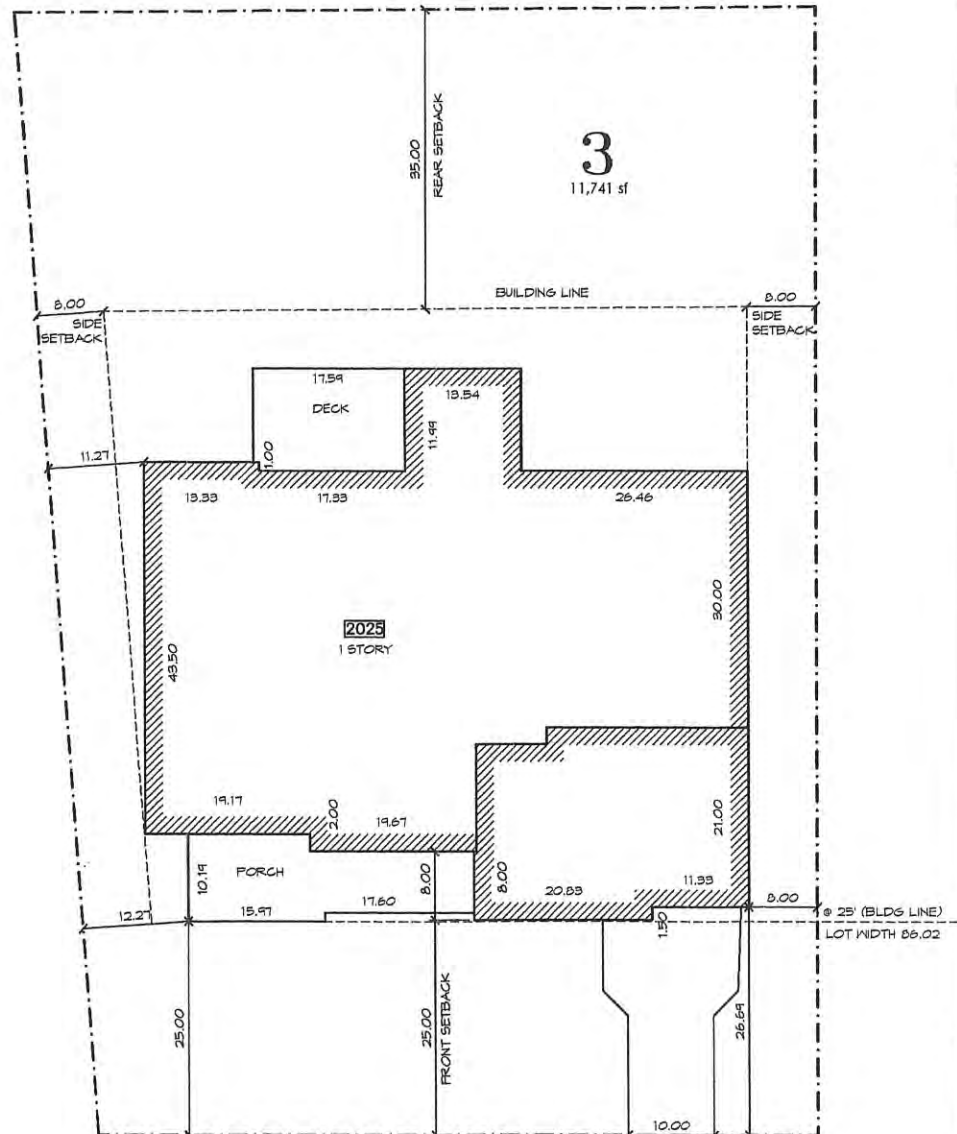
Single Dominant Material: ~~cast stone~~ Vinyl siding

Predominant Material: Natural stone

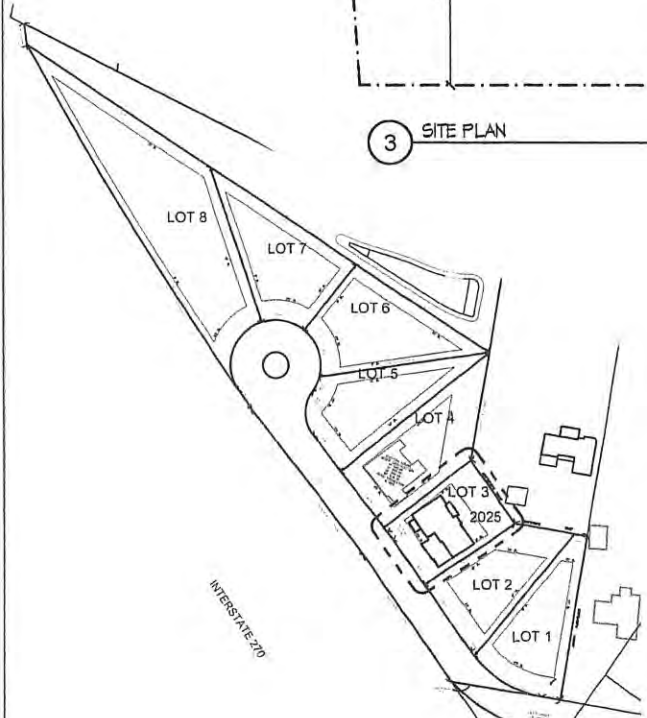
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New Custom Home at:
KIRKWOOD BLUFFS
for BuildSTL
 2025 Lily Avenue Kirkwood, MO 63122



3 SITE PLAN
 SCALE: 1"=10'



2 SITE DIAGRAM
 SCALE: 1"=100'



1 FRONT ELEVATION
 SCALE: NTS

APPLICABLE CODE INFORMATION

BUILDING CODES
 2015 International Residential Code
 2015 International Mechanical Code
 2015 International Plumbing Code
 2015 National Electrical Code

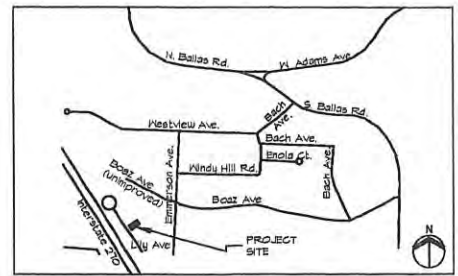
Site Zoning
 Zoning District: R-3 w/C.U.P.
 Lot Area: 15,000 S.F. Minimum
 Max. Height: 2 1/2 stories, 35'-0"

Actual Area:
 Lot Area: 11,741 S.F.
 Actual Height: 1 stories, 28'-4"

1st: 2036 sf
Lower Level:
 Finished: 1914 sf
 Unfinished: 927 sf

Lot Coverage: 30%
Floor Area Ratio: 27%

LOCATION MAP



DRAWING LIST

SHEET NAME	SHEET NUMBER
COVER SHEET	A0.0
GENERAL NOTES & INFORMATION	A0.1
LOWER & UPPER LEVEL FLOOR PLANS	A2.0
MAIN LEVEL FLOOR PLAN	A2.1
ROOF PLAN	A2.2
LOWER & UPPER LEVEL PLANS - ELECTRICAL	A3.0
MAIN LEVEL PLAN - ELECTRICAL	A3.1
EXTERIOR ELEVATIONS - FRONT & RIGHT	A4.0
EXTERIOR ELEVATIONS - REAR & LEFT	A4.1
SECTIONS & DETAILS	A5.0
STRUCTURAL GENERAL NOTES	S0.1
STRUCTURAL GENERAL NOTES & 2015 IRC FASTENING SCHEDULES	S0.2
STRUCTURAL TYPICAL DETAILS	S0.3
STRUCTURAL FOUNDATION & FIRST FLOOR FRAMING PLAN	S1.0
STRUCTURAL ROOF FRAMING PLANS	S1.1
STRUCTURAL SECTIONS & DETAILS	S2.0
STRUCTURAL 2015 IRC BRACING DETAILS	S2.1

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 Original Certificate/License: 20102034752

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KIRKWOOD, MO 63122

Custom Home:
for BuildSTL
 2025 LILY AVENUE (LOT 3)

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COVER SHEET
A0.0
 2118-3

GENERAL NOTES - FOUNDATION PLANS

- A. CONTRACTOR TO VERIFY AND COORDINATE BEFORE CONSTRUCTION ALL WINDOW AND DOOR CENTERLINE DIMENSIONS ON DRAWINGS WITH MANUFACTURER'S ROUGH AND OPENING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CLEARANCES OF ADJACENT MATERIALS WITH ROUGH OPENINGS AND INSTALLATION REQUIREMENTS, AND NOTIFY ARCHITECT OF ANY CONFLICTS. SEE ELEVATION SHEETS FOR WINDOW AND DOOR HEADER HEIGHTS.
 - B. CONTRACTOR TO COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE DESIGN/BUILD SUB-CONTRACTOR.
 - C. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - D. UNLESS NOTED OTHERWISE (U.N.O.), ALL DIMENSIONS INDICATED ARE FROM:
 - FACE OF ROUGH STUD FRAMING
 - FACE OF SHEATHING
 - FACE OF CONCRETE
 - FACE OF SHEATHING TO FACE OF FASCIA BOARD @ ROOF OVERHANG
 - E. ALL LUMBER IN DIRECT CONTACT W/ CONC. OR MASONRY SHALL BE PRESSURE TREATED & MARKED.
 - F. ALL MATERIALS EXPOSED TO EXTERIOR SHALL BE I.R.C. APPROVED EXTERIOR GRADE MATERIALS.
 - G. SEE ELECTRICAL PLANS (A3.0 SERIES) FOR ADDITIONAL INFORMATION.
 - H. G.C. IS RESPONSIBLE FOR ALL PRELIMINARY DIMENSIONS REGARDING PLAN & ELEVATION LAYOUT - F.V. ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - I. ACTUAL LOCATION OF FURNACE, CONDENSER UNIT, AND WATER HEATER TO BE FIELD-VERIFIED WITH OWNER.
 - J. PROVIDE MINIMUM 2" CLEARANCE FOR FLUE IF USING CLASS "B" UL APPROVED HVAC FLUE (SIZED BY HVAC CONTRACTOR) @ GAS FURNACE & WATER HEATER.
 - K. PROVIDE 18" x 24" DEEP SLUMP HOLE WITH FITTED COVER IF FOUNDATION DRAIN PIPE CANNOT BE DAYLIGHTED. PROVIDE PUMP IF BASEMENT IS FINISHED OR GROUNDWATER IS PRESENT, DISCHARGING TO WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
 - L. FIREBLOCKING: MINERAL WOOL OR 1" GYP. BOARD SHALL BE INSTALLED IN THE CAVITY OF FLOOR JOISTS THAT OCCUR DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA. F.V. 2X FIRE-BLOCKING AT MID-POINT ON ALL WALLS OVER 8'-0" HIGH. FIREBLOCKING REQUIRED AROUND VENT, PIPE AND DUCT PENETRATIONS OF CEILING AND FLOORS AND AT HORIZONTAL INTERVALS (NOT EXCEEDING 10'-0") WHEN A FRAMED WALL IS SET AWAY FROM THE FOUNDATION WALL.
 - M. DRAFTSTOPPING: CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO OPEN WEB FLOOR TRUSSES SHALL BE DRAFT-STOPPED AT A MAXIMUM OF 1000 SQ. FT. INTERVALS PARALLEL TO MAIN FRAMING MEMBERS.
 - N. UNFINISHED BASEMENT & UTILITY AREAS REQUIRE MECHANICAL VENTILATION IN THE AMOUNT OF .05 CFM/SQ. FT. OF AREA; NATURAL VENTILATION (NET OPERABLE AREA) MAY BE SUBSTITUTED AT THE RATIO OF 1X OF FLOOR AREA SERVED.
 - O. VENTILATION - MECHANICAL REQUIREMENTS: GAS APPLIANCES LOCATED IN SPACES WHERE THE VOLUME IS LESS THAN 50 CU. FT. PER 1000 BTU/HR. INPUT RATING SHALL HAVE COMBUSTION AIR PROVIDED. MECHANICAL CONTRACTOR SHALL CALCULATE, SPECIFY, AND COORDINATE WITH G.C. ALL ADDITIONAL COMBUSTION AIR AS REQUIRED BY THE MECHANICAL CODE AND LOCAL JURISDICTIONS. MECHANICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING: USING OUTSIDE AIR - PROVIDE 1 SQ. IN. PER 1000 BTU/HR. IN HIGH AND LOW OPENINGS, 100 SQ. IN. MIN. OPENING SIZE. USING OUTSIDE AIR - PROVIDE 1 SQ. IN. PER 4000 BTU/HR. (1 SQ. IN. PER 2000 BTU/HR. IF DUCTED HORIZONTAL OPENING).
 - P. CEILING HEIGHTS TO BE DETERMINED BY EXTENT OF DUCTWORK, STEEL BEAMS, ETC. (7'-0" MIN. CEILING HEIGHT)
 - AA. BEAMS AND GRIDDERS (DECORATIVE OR STRUCTURAL) SPACED NOT LESS THAN 4 FEET ON CENTER MAY PROJECT A MAXIMUM OF 6" BELOW THE 7'-0" REQUIRED CEILING HEIGHT.
 - AB. CEILINGS IN BASEMENTS WITHOUT HABITABLE SPACES MAY PROJECT TO WITHIN 6"-8" OF THE FINISHED FLOOR, AND BEAMS, GRIDDERS, DUCTS OR OTHER OBSTRUCTIONS MAY PROJECT WITHIN 6'-4" OF THE FINISHED FLOOR.
- (ALL GENERAL NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE)

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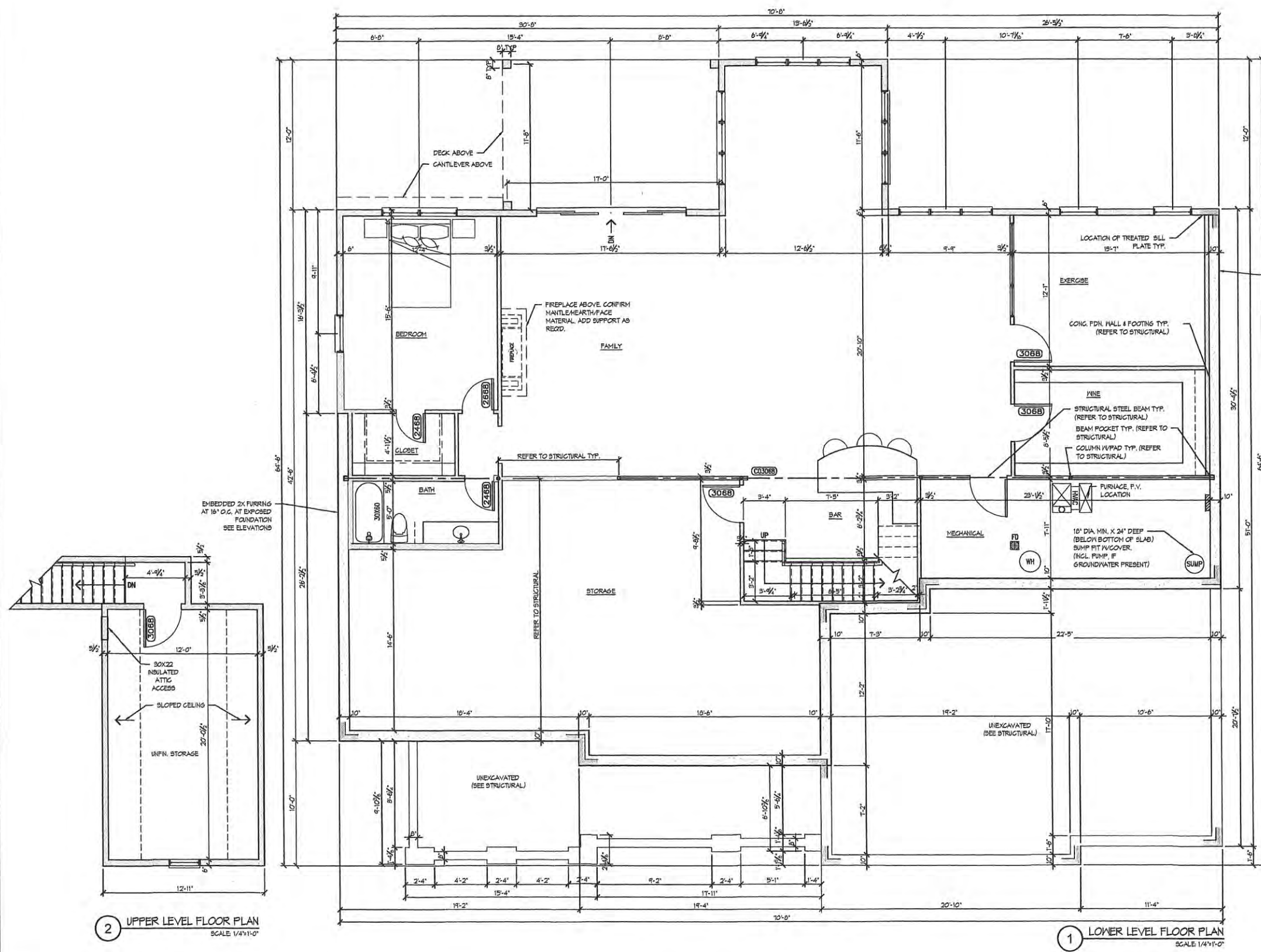
KIRKWOOD, MO 63122
 2025 LILY AVENUE (LOT 3)

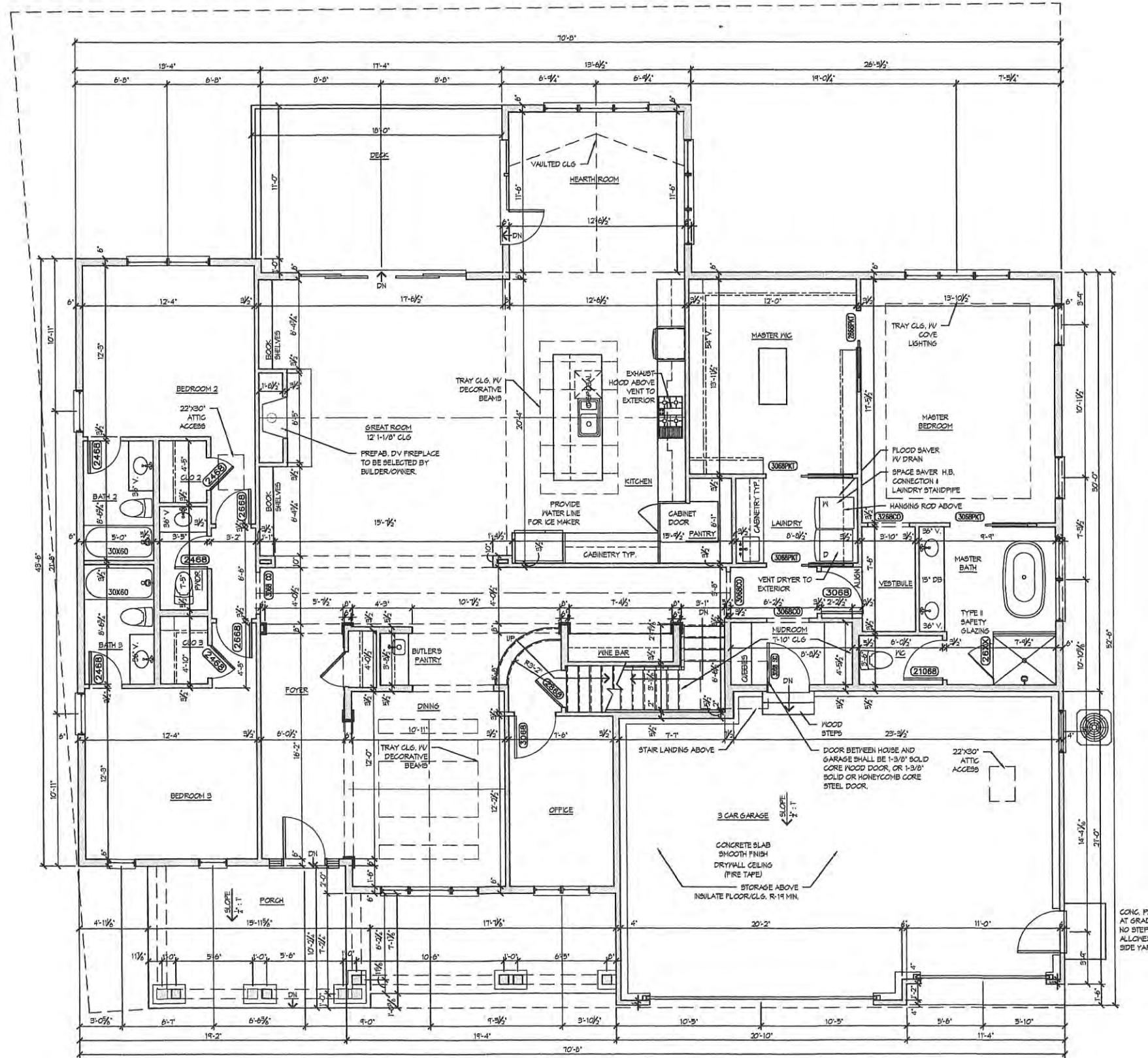
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LOWER & UPPER LEVEL FLOOR PLANS

A2.0





1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES - FLOOR PLANS

- A. CONTRACTOR TO VERIFY AND COORDINATE BEFORE CONSTRUCTION ALL WINDOW AND DOOR CENTERLINE DIMENSIONS ON DRAWINGS WITH MANUFACTURER'S ROUGH OPENING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CLEARANCES OF ADJACENT MATERIALS WITH ROUGH OPENINGS AND INSTALLATION REQUIREMENTS, AND NOTIFY ARCHITECT OF ANY CONFLICTS. SEE ELEVATION SHEETS FOR WINDOW AND DOOR HEADER HEIGHTS
 - B. CONTRACTOR TO COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE DESIGN/BUILD SUB-CONTRACTOR
 - C. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
 - D. UNLESS NOTED OTHERWISE (U.N.O.), ALL DIMENSIONS INDICATED ARE FROM:
- FACE OF ROUGH STUD FRAMING
- FACE OF SHEATHING
- FACE OF CONCRETE
- FACE OF SHEATHING TO FACE OF FASCIA BOARD @ ROOF OVERHANG
 - E. ALL LUMBER IN DIRECT CONTACT W/ CONC. OR BRICK SHALL BE PRESSURE TREATED & MARKED
 - F. ALL MATERIALS EXPOSED TO EXTERIOR SHALL BE I.R.C. APPROVED EXTERIOR GRADE MATERIALS
 - G. SEE ELECTRICAL PLANS (A3.0 SERIES) FOR ADDITIONAL INFORMATION
 - H. G.C. IS RESPONSIBLE FOR ALL PRELIMINARY DIMENSIONS REGARDING PLAN & ELEVATION LAYOUT - FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION
 - I. ALL INTERIOR FRAMED WALLS ARE 3/4" (2x4 STUDS), EXTERIOR FRAMED WALLS ARE 6" (2x6 STUDS + 1/2" SHEATHING) UNLESS DIMENSIONED OR NOTED OTHERWISE.
 - J. DOOR DESIGNATIONS ARE IN FEET AND INCHES (IE (2-2000) = (2) 2'-0" X 8'-0"
 - K. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WALLS ON WHICH PLUMBING FIXTURES ARE LOCATED
 - L. PROVIDE CEMENT BACKERBOARD BEHIND TILED WALLS AT TUB AND SHOWER ENCLOSURES
 - M. INSULATE ALL INTERIOR WALLS AROUND BATHS AND MECHANICAL AREAS, AND JOIST SPACE BETWEEN FLOORS, FOR SOUND ATTENUATION
 - N. FIREBLOCKING: MINERAL WOOL OR 1" GYP. BOARD SHALL BE INSTALLED IN THE CAVITY OF FLOOR JOISTS THAT OCCUR DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA. F.V. 2X FIRE-BLOCKING AT MID-POINT ON ALL WALLS OVER 8'-0" HIGH. FIREBLOCKING REQUIRED AROUND VENT, PIPE AND DUCT PENETRATIONS OF CEILING AND FLOORS AND AT HORIZONTAL INTERVALS (NOT EXCEEDING 10'-0") WHEN A FRAMED WALL IS SET AWAY FROM THE FOUNDATION WALL.
 - O. DRAFTSTOPPING: CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO OPEN WEB FLOOR TRUSSES SHALL BE DRAFT-STOPPED AT A MAXIMUM OF 1000 SQ. FT. INTERVALS PARALLEL TO MAIN FRAMING MEMBERS
 - P. PROVIDE 2" MIN. CLEARANCE FROM OUTSIDE FACE OF METAL FIREPLACE FLUE TO ALL COMBUSTIBLE MATERIALS
 - Q. CEILINGS: 1/2" GYP. BOARD APPLIED TO BOTTOM OF FLOOR JOISTS WITH LOWER AREAS AS REQUIRED FOR STRUCTURAL AND MECHANICAL ITEMS, TYPICAL (SEE PLANS FOR ADDITIONAL HEIGHT INFORMATION)
 - R. FRAMING CARPENTER TO REVIEW AND COORDINATE ALL LIGHT FIXTURE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION TO AVOID FRAMING INTERFERENCES IF POSSIBLE
 - S. MECHANICAL CONTRACTOR TO REVIEW AND COORDINATE ALL LIGHT FIXTURE LOCATIONS WITH PROPOSED DUCTWORK AND CHASES TO AVOID INTERFERENCES WITH LIGHTING DESIGN IF POSSIBLE. REVIEW ALTERNATE LOCATIONS WITH OWNER/BUILDER/A-OR ARCHITECT
 - T. FINISHED FLOORING AS SELECTED BY OWNER
 - U. ALL CLOTHES CLOSETS TO BE DESIGNED BY OTHERS (OR AS SELECTED BY OWNER), INCLUDE ONE VINYL-COATED SHELF AND ROD AS BASE BID, U.N.O.
 - V. ALL LINEN CLOSETS & PANTRY TO BE DESIGNED BY OTHERS (OR AS SELECTED BY OWNER), INCLUDE 5 VINYL-COATED SHELVES AS BASE BID, U.N.O.
 - W. ALL BATH TUBS WITH SHOWER FIXTURES (EXCEPT MASTER BATH TUB), AND SHOWER ENCLOSURES TO HAVE SHOWER CURTAIN ROD AS BASE BID (U.N.O.) OR AS SELECTED BY OWNER
 - X. PROVIDE WALL MIRRORS OVER ALL VANITY TOPS. WIDTH OF MIRROR TO EQUAL VANITY TOP LENGTH AND MIRROR HEIGHT TO BE 42" AS BASE BID-OR AS SELECTED BY OWNER.
 - Y. CEILING SHAPES AND HEIGHTS: REFER TO ELECTRICAL SHEETS (A3.X SERIES) FOR CEILING PROFILES AND HEIGHTS THAT DIFFER FROM THOSE BASED UPON THE STANDARD PLATE HEIGHT.
 - Z. GARAGE/RESIDENCE SEPARATION DOOR SHALL NOT BE LESS THAN 1 1/2" THICK SOLID WOOD, 1 1/2" SOLID OR HONEYCOMB CORE STEEL DOOR, OR 20-MINUTE FIRE RATED DOOR.
 - AA. GARAGE (WITH STORY ABOVE): GARAGE/HOUSE SEPARATION WALLS SHALL BE FACED WITH 1/2" TYPE 'X' GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BEHIND HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT.
 - AB. CANTILEVERS: BEADBOARD (VINYL) OVER 1/2" PLYWOOD OR O.S.B. SHEATHING - SEAL ALL JOINTS. INSULATE BETWEEN FLOOR JOIST TO A MINIMUM OF R-19 AND VENT JOIST CAVITIES.
 - AC. PORCH CEILINGS: BEADBOARD (VINYL)
 - AD. EXHAUST HOOD AT COOKTOP/RANGE: MECHANICAL CONTRACTOR TO VERIFY CFM FOR ADEQUATE AIR INTAKE.
- (ALL GENERAL NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE)

CONG. PAD AT GRADE NO STEPS ALLOWED IN SIDE YARD.

REVISIONS	DATE	BY

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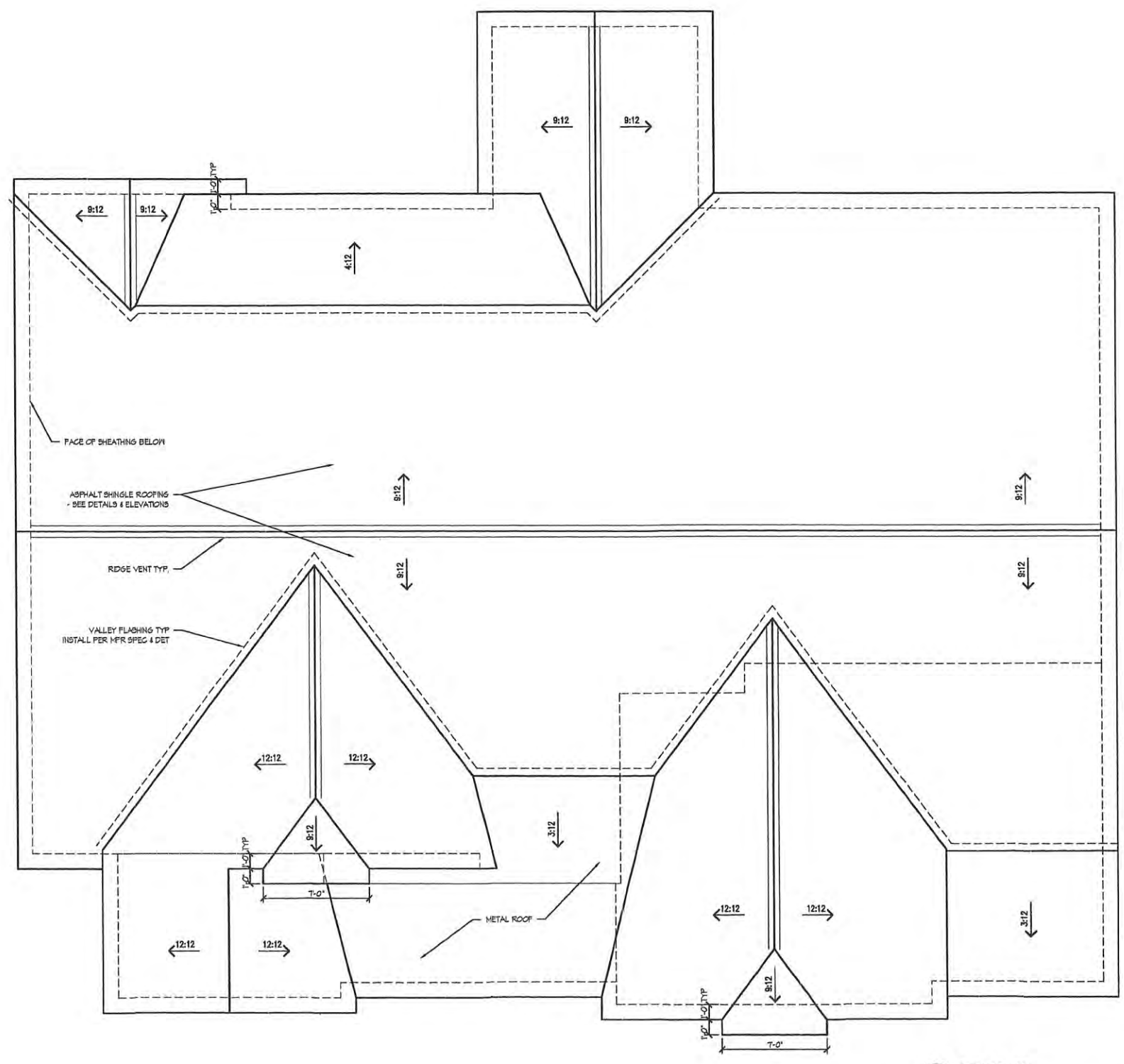
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KIRKWOOD, MO 63122

Custom Home:
for BuildSTL
2025 LILY AVENUE (LOT 3)

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MAIN LEVEL FLOOR PLAN
A2.1
2118-3



1 ROOF PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES - ROOF PLAN

- A. CONTRACTOR TO VERIFY AND COORDINATE BEFORE CONSTRUCTION ALL WINDOW AND DOOR CENTERLINE DIMENSIONS ON DRAWINGS WITH MANUFACTURER'S ROUGH OPENING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CLEARANCES OF ADJACENT MATERIALS WITH ROUGH OPENINGS AND INSTALLATION REQUIREMENTS, AND NOTIFY ARCHITECT OF ANY CONFLICTS. SEE ELEVATION SHEETS FOR WINDOW AND DOOR HEADER HEIGHTS, INCLUDING DORMER INFORMATION.
 - B. CONTRACTOR TO COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE DESIGN/BUILD SUB-CONTRACTOR.
 - C. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - D. UNLESS NOTED OTHERWISE (U.N.O.), ALL DIMENSIONS INDICATED ARE FROM:
 - FACE OF ROUGH STUD FRAMING
 - FACE OF SHEATHING
 - FACE OF CONCRETE
 - FACE OF SHEATHING TO FACE OF FASCIA BOARD @ ROOF OVERHANG
 - E. ALL LUMBER IN DIRECT CONTACT W/ CONC., OR MASONRY SHALL BE PRESSURE TREATED & MARKED.
 - F. ALL MATERIALS EXPOSED TO EXTERIOR SHALL BE I.R.C. APPROVED EXTERIOR GRADE MATERIALS.
 - G. SEE ELECTRICAL PLANS (A3.0 SERIES) FOR ADDITIONAL INFORMATION REGARDING CEILING DESIGN CONFIGURATIONS (PROFILES AND SPECIAL HEIGHTS).
 - H. G.C. IS RESPONSIBLE FOR ALL PRELIMINARY DIMENSIONS REGARDING PLAN & ELEVATION LAYOUT.
 - I. PROVIDE ROOF VENTILATION PER CODE.
 - J. PROVIDE FLASHING AT ALL ROOF PENETRATIONS.
 - K. LOCATIONS OF DOWNSPOUTS & SIZE OF GUTTER TO BE DESIGNED BY OTHERS.
 - L. ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPLASH BLOCKS AT GRAD, OR BE TIED INTO SUB-SURFACE DRAINAGE SYSTEM.
 - M. ALL GUTTERED OVERHANGS AND GABLE ENDS TO BE DIMENSIONED FROM FACE OF SHEATHING TO THE FRONT SIDE OF FINISHED FASCIA BOARD, TYPICAL U.N.O. - SEE ROOF PLAN.
 - N. ALL PORCH OVERHANGS TO BE DIMENSIONED FROM FACE OF ROUGH BOX BEAM FRAMING TO FRONT SIDE OF FINISHED FASCIA BOARD, TYPICAL U.N.O. - SEE ROOF PLAN.
 - O. PROVIDE 2 LAYERS TYPE "I" ICE DAM MIN. 24" IN FROM INTERIOR FACE OF STUD TO EAVE AT ALL EDGES. PROVIDE 2 LAYERS TYPE "I" ICE DAM OVER ENTIRE ROOF WHERE SLOPE IS LESS THAN 4:12.
- (ALL GENERAL NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE)

REV	DATE	BY	CHKD

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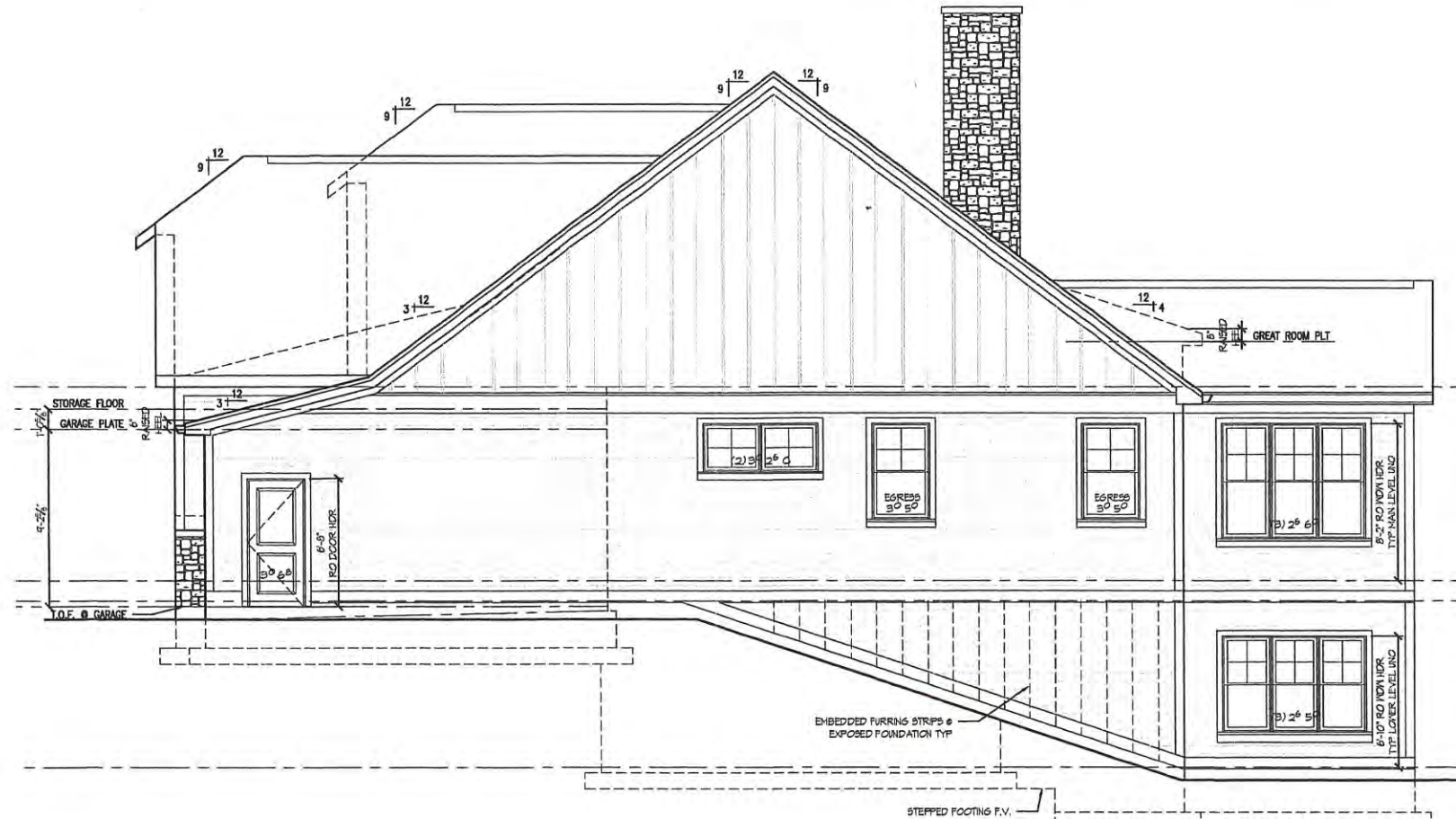
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Custom Home:
for BuildSTL

2025 LILY AVENUE (LOT 3)

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ROOF PLAN
A2.2
 2118-3



2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

- GENERAL NOTES - EXTERIOR ELEVATIONS**
- A. SLOPE GRADE AWAY FROM FOUNDATION A MINIMUM OF 1" PER FOOT FOR A DISTANCE OF 8'-0" TO A SWALE.
 - B. FOOTING & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON UNDISTURBED SOIL. PIERS TO EXTEND A MINIMUM OF 24" INTO UNDISTURBED SOIL. BOTH SHALL BE A MINIMUM OF 30" BELOW GRADE.
 - C. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF A MINIMUM OF 3'-0" AT THE POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
 - D. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL, AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
 - E. CANTILEVER(S): FINISHED MATERIAL OVER 1/2" PLYWOOD OR O.S.B. SHEATHING - SEAL ALL JOINTS. INSULATE BETWEEN FLOOR JOISTS TO A MINIMUM OF R-19 AND VENT JOIST CAVITIES.
 - F. BASEMENT HAVING CONCRETE FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
 - G. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
 - H. EXTERIOR WINDOW DESIGNATIONS ARE NOTED ON ELEVATIONS.
PROVIDE SCREENS AT ALL WINDOWS AND DOORS - CONFIRM W/ OWNER
PROVIDE 3" BLOCKING UNDER DOORS TO ALLOW FOR HARDWOOD FLOOR OR TILE THICKNESS IF REQUIRED PER INSTALLATION MANUAL.
 - I. BOTTOM OF ALL WINDOW HEADERS TO BE SET AS NOTED ON ELEVATIONS.
 - J. ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPLASH BLOCKS AT GRADE.
 - K. ALL ROOF TRUSSES ARE BASED ON A 2x4 TOP CHORD AND 2 POINT BEARING UNLESS NOTED OTHERWISE. RAISED HEELS ARE CALCULATED FROM TOP PLATE TO THE TOP OF THE TOP CHORD AT FACE OF STUD.
 - L. DECK DOORS: SECURELY BARRICADE DOORS TO DECK UNTIL DECK IS BUILT AND APPROVED.
 - M. WINDOWSILLS, WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW; THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.4.2 OF THE 2015 IRC
 - N. ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R319.1
- ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

REVISED	12-01-21	Date:
PERMIT SET	08-31-20	Date:
ARB SET		Date:
ISSUES		Date:

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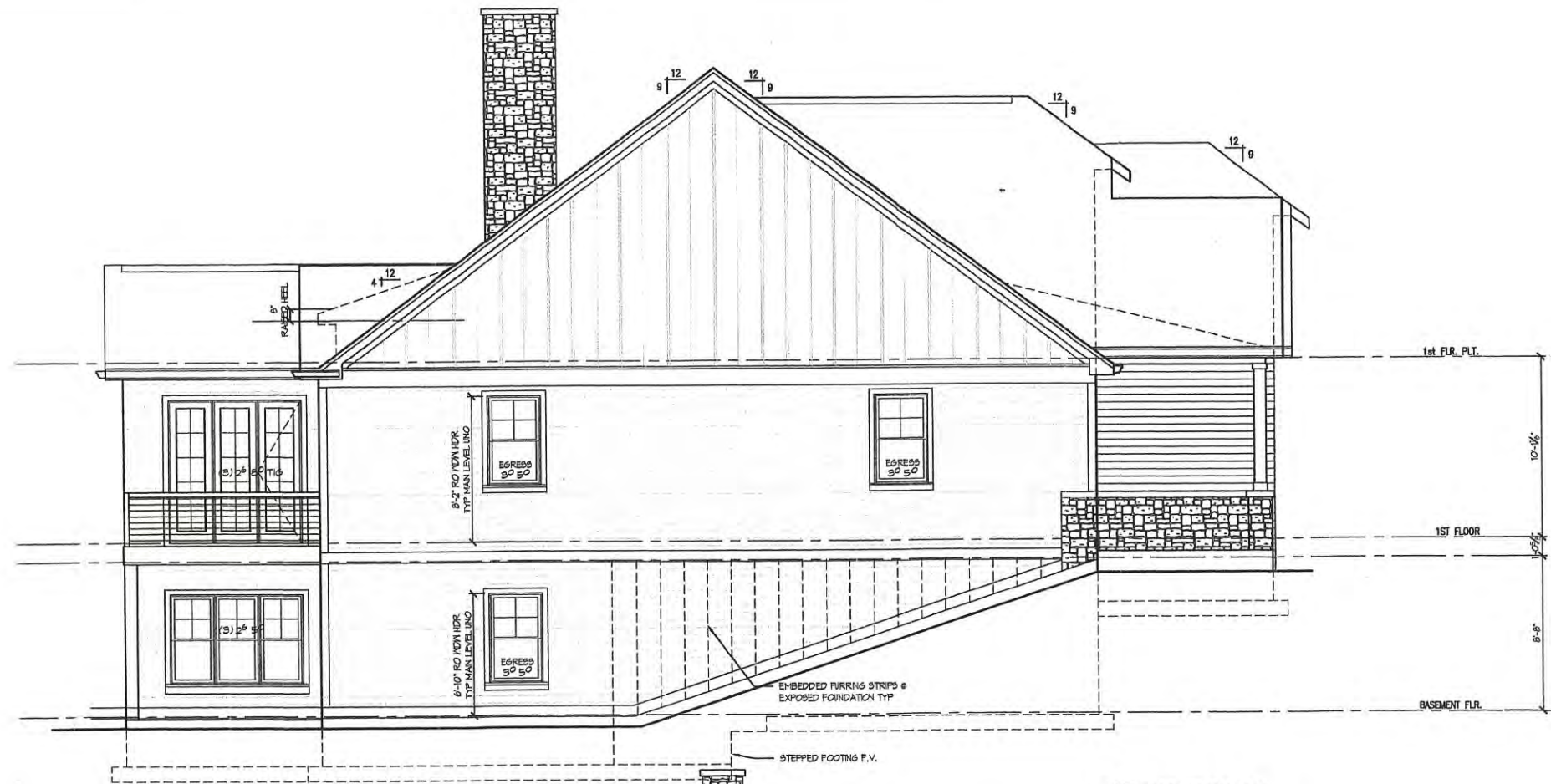
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KIRKWOOD, MO 63122

Custom Home:
for BuildSTL

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ELEVATIONS FRONT & RIGHT
A4.0
2118-3



2 LEFT ELEVATION
SCALE: 1/4"=1'-0"



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SLOPE GRADE AWAY FROM FOUNDATION A MINIMUM OF 1" PER FOOT FOR A DISTANCE OF 6'-0" TO A SWALE.
 - B. FOOTING & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON UNDISTURBED SOIL. PIERS TO EXTEND A MINIMUM OF 24" INTO UNDISTURBED SOIL. BOTH SHALL BE A MINIMUM OF 30" BELOW GRADE.
 - C. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF A MINIMUM OF 3'-0" AT THE POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
 - D. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL, AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
 - E. CANTILEVER(S): FINISHED MATERIAL OVER 3/4" PLYWOOD OR O.S.B. SHEATHING - SEAL ALL JOINTS. INSULATE BETWEEN FLOOR JOISTS TO A MINIMUM OF R-19 AND VENT JOIST CAVITIES.
 - F. BASEMENT HAVING CONCRETE FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
 - G. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
 - H. EXTERIOR WINDOW DESIGNATIONS ARE NOTED ON ELEVATIONS.
PROVIDE SCREENS AT ALL WINDOWS AND DOORS - CONFIRM W/ OWNER PROVIDE 2" BLOCKING UNDER DOORS TO ALLOW FOR HARDWOOD FLOOR OR TILE THICKNESS IF REQUIRED PER INSTALLATION MANUAL.
 - I. BOTTOM OF ALL WINDOW HEADERS TO BE SET AS NOTED ON ELEVATIONS.
 - J. ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPLASH BLOCKS AT GRADE.
 - K. ALL ROOF TRUSSES ARE BASED ON A 2x4 TOP CHORD AND 2 POINT BEARING UNLESS NOTED OTHERWISE. RAISED HEELS ARE CALCULATED FROM TOP PLATE TO THE TOP OF THE TOP CHORD AT FACE OF STUD.
 - L. DECK DOORS: SECURELY BARRICADE DOORS TO DECK UNTIL DECK IS BUILT AND APPROVED.
 - M. WINDOW SILLS, WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R312.4.2 OF THE 2015 IRC.
 - N. ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION R318.1.
- ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

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PERMIT SET			
ARG SET			
ISSUED			

PROFESSIONAL OF RECORD

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KIRKWOOD, MO 63122

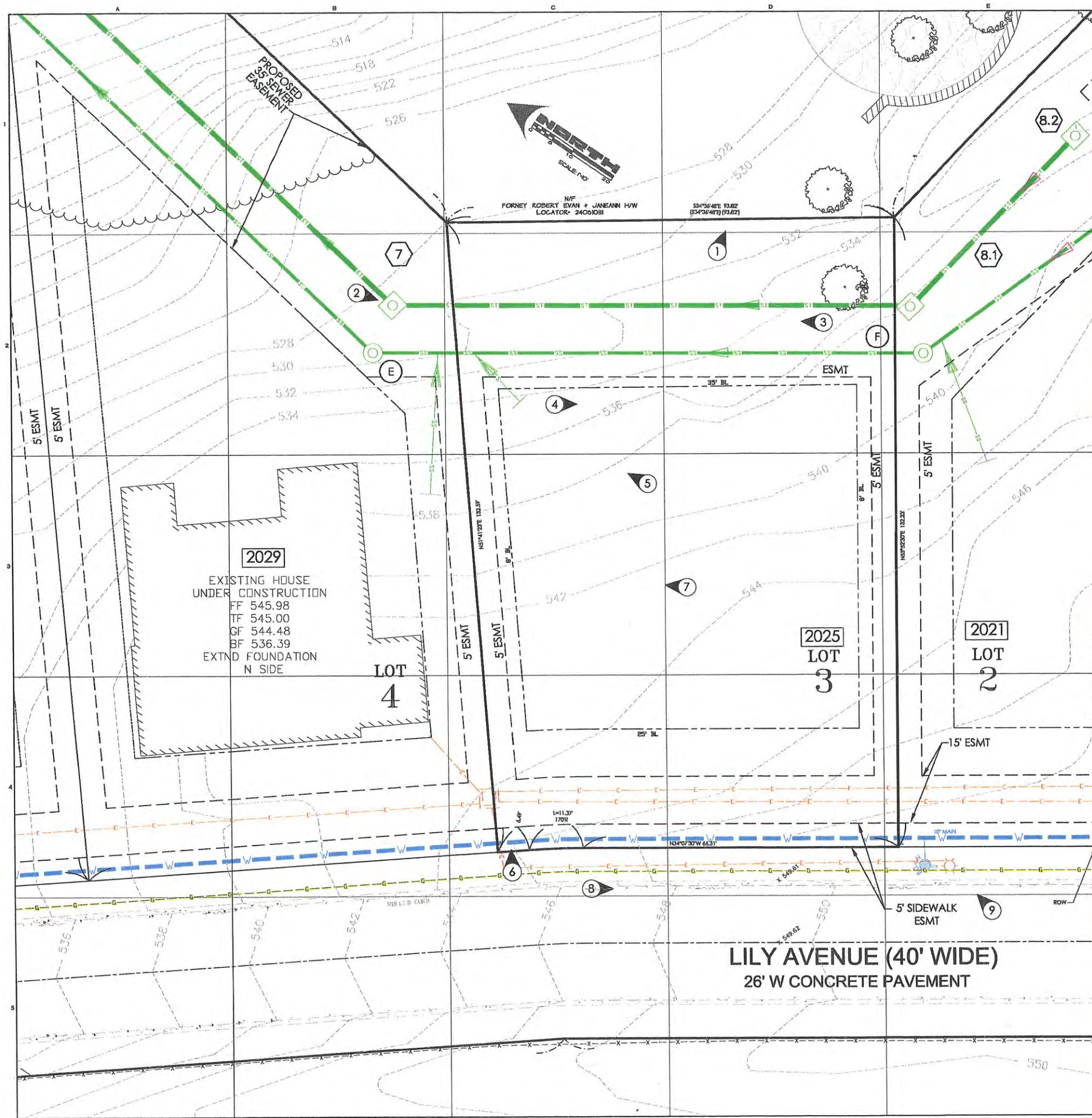
Custom Home:
for BuildSTL

2025 LILY AVENUE (LOT 3)

ATTENTION BUILDING OFFICIAL:
The signature and seal of the architect are required before these drawings may be submitted for building permit or construction.

ELEVATIONS REAR & LEFT

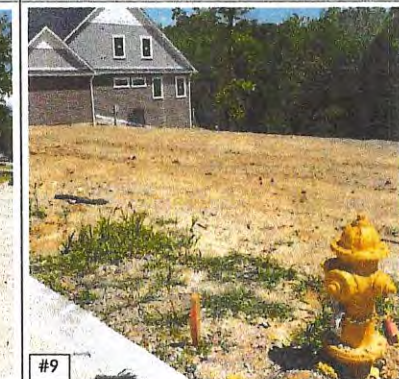
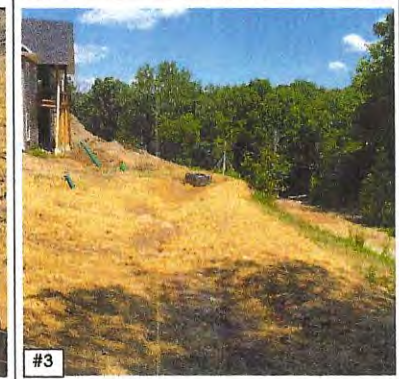
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KEYED NOTES

GENERAL: SEE NOTICES TO CONTRACTOR SHEET C1 AND KEYED NOTES OTHER SHEETS AS MAY BE APPLICABLE TO WORK DEPICTED ON THIS DRAWING.

1.



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**EMMERSON ESTATES
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
EXISTING CONDITIONS**

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No.	Date	Description	P.E. Signature

REVISIONS/STATUS

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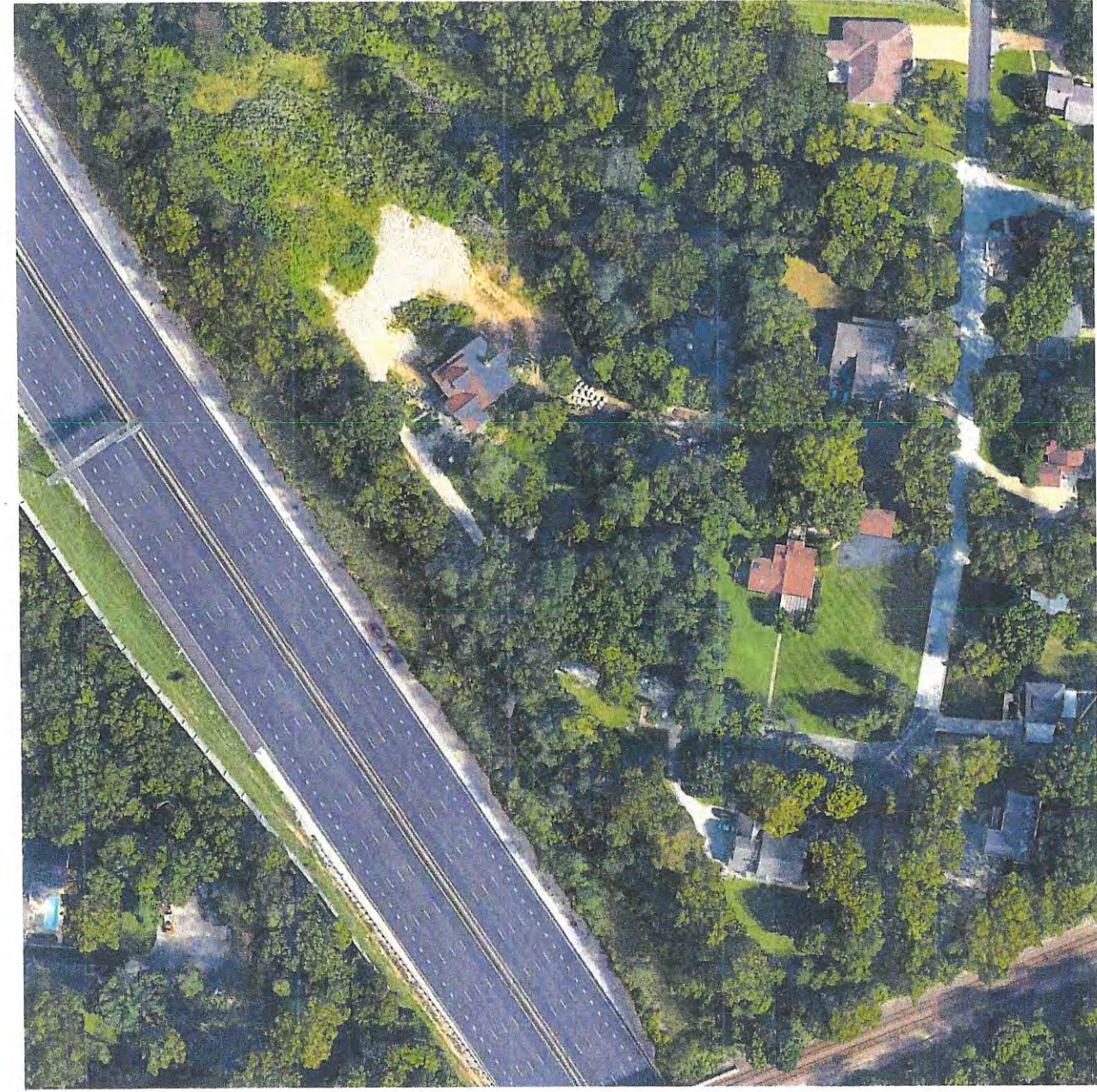
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Field Work:	DZ Field Checked: DW
Drawn By:	GS/PC c.s.o.: PC
Checked By:	DW
Project Number:	16013
Sheet Number:	C2

AJED P-2021101-00 BASMAP: 240
H & T #:

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2 PARCEL MAP



1 SATELLITE IMAGE

Custom Home:
THE BLUFFS AT LILY
 for Ingargiola Development

LILY AVENUE KIRKWOOD, MO 63122

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2012 LILY AVE



2013 LILY AVE
LILY AVENUE STREETSCAPE



2017 LILY AVE



415 EMMERSON AVE



418 EMMERSON AVE



424 EMMERSON AVE



436 EMMERSON AVE



444 EMMERSON AVE

EMMERSON AVENUE STREETSCAPE



452 EMMERSON AVE

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7 2041 LILY AVENUE LOT 7



8 2045 LILY AVENUE LOT 8



6 2037 LILY AVENUE LOT 6



5 2033 LILY AVENUE LOT 5



4 2029 LILY AVENUE LOT 4



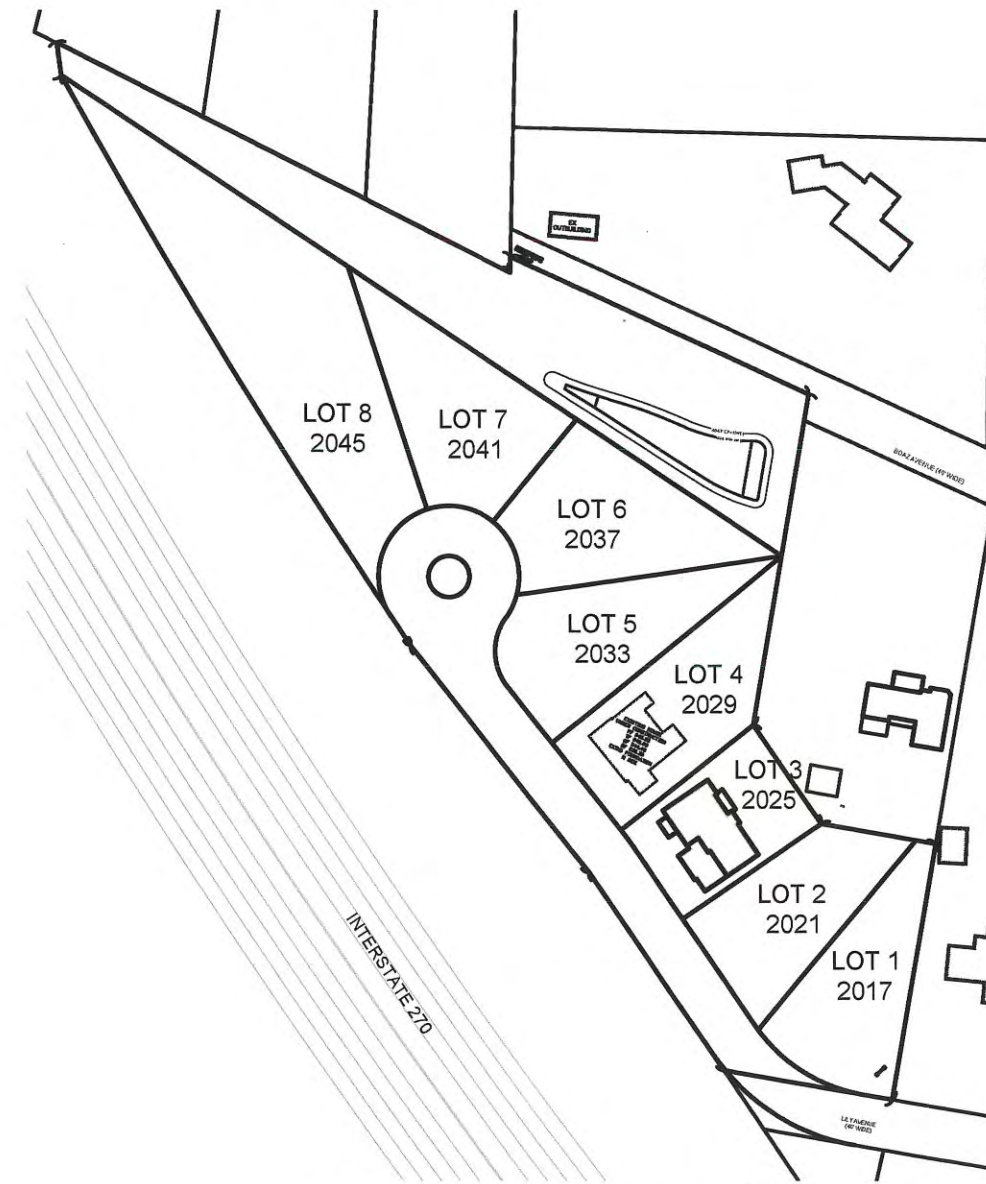
3 2025 LILY AVENUE LOT 3



2 2021 LILY AVENUE LOT 2



1 2017 LILY AVENUE LOT 1



9 SITE DIAGRAM N.T.S.

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