



**Board of Adjustment
Agenda
Monday, November 8, 2021, 7:00 p.m.
Kirkwood City Hall
139 S. Kirkwood Road
Kirkwood, MO 63122**

I. Approval of Journal – October 11, 2021

II. New Business

- a. **Case No. 26-2021** Paul Fendler, applicant for 429 Miriam Ave. (R-3 Zoning District), requests a variance to construct an addition that will not conform to the rear yard setback regulation of the Zoning Code
- b. **Case No. 27-2021** Jason Mallory, applicant for 886 Dewberry Ct. (R-4 Zoning District), requests a variance to construct a 2-story addition and garage that will not conform to the rear yard setback regulation of the Zoning Code
- c. **Case No. 28-2021** Steve Hayes/Halo Holdings, LLC, applicant for 302 George Ave. (R-4 Zoning District), requests variances to construct a new single-family residence that will not conform to the front yard setback and finished first floor height regulations of the Zoning Code
- d. **Case No. 29-2021** Steve Hayes/Halo Holdings, LLC, applicant for 304 George Ave. (R-4 Zoning District), requests variances to construct a new single-family residence that will not conform to the front yard setback and finished first floor height regulations of the Zoning Code
- e. **Case No. 30-2021** John Rutledge, applicant for 1231 Simmons Ave. (R-4 Zoning District) requests a variance to construct a porch addition that will not conform to the front yard encroachment regulation of the Zoning Code

Such hearings may be adjourned from time to time until completed.

By order of: Joe Roeser, Secretary – Board of Adjustment Kirkwood, Missouri,
October 22, 2021.

Staff Liaison: Amy Lowry; Phone: (314) 822-5815;
Email: lowryaq@kirkwoodmo.org

Board of Adjustment: Chairman Mark McLean, Members Cindy Coronado, Joe Roeser, Paul Schaefer, Pat Jones, Gil Kleinknecht and Paul Ward.

Accommodation: The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as a CD, by calling 314-822-5802.



**Board of Adjustment - Journal
October 11, 2021, 7:00 p.m.
Zoom Webinar
Kirkwood MO 63122**

Present: Mark McLean, Chair; Cindy Coronado, Pat Jones, Gil Kleinknecht and Paul Schaefer

City Attorney: Taylor Essner **Court Reporter:** Gwen Huffman
Staff Liaison: Amy Lowry

I. Approval of Journal – September 13, 2021

II. New Business

- a. **Case No. 22-2021** RRJ, LLC, applicant for 309 George Ave. (R-4 Zoning District), requests a variance to construct a new single-family residence that will not conform to the infill residential finished first floor height regulation of the Zoning Code – **Approved by vote of 4-0, with Paul Schaefer unavailable for hearing and vote**
- b. **Case No. 23-2021** Benjamin Silber, applicant for 322 Altus Pl. (R-3 Zoning District), requests a location variance for a fence that will not conform to the Fence Code – **Unanimously Approved**
- c. **Case No. 24-2021** Chris Pike, applicant for 520 Coverdale Ln. (R-4 Zoning District), requests a variance to construct a new single-family residence that will not conform to the rear yard setback regulation of the Zoning Code – **Unanimously Approved**
- d. **Case No. 25-2021** Kara Dee Flacke, applicant for 305 Smith St. (R-3 Zoning District) requests a variance to construct an addition to a single-family residence that will not conform to the height regulation of the Zoning Code – **Unanimously Approved**

APPROVED _____
Mark McLean, Chair

Case Summary

Case Number	26-2021				
Zoning District	R-3				
Project Address	429 Miriam				
Applicant Name	Paul Fendler – Architect				
Property Owner	Greg & Eve Beye				
Article	VI	Section	25-48	Sub-Section	25-48(b)(1) & Table 48-2
Variance Request	Rear yard for an addition				
Required	35'				
Proposed	25.94'				
Variance Requested	9.06'				

History of address: N/A

Summary Approved by: AGL

Labels printed _____

Letter mailed on _____

300 ft. notice mailed on _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122

***An appointment with staff is required** prior to the submittal of a variance application to assist in preparing your submittal information. Please contact Amy Lowry, Planner II at 314-822-5815 to schedule an appointment.

Action Requested:

Variance of Zoning Code

\$240 non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools

\$500 non-refundable filing fee for all others not listed above,

\$50 fee for each additional variance request on the same application.

Variance of Fence Code- \$200 non-refundable filing fee (per Code §5-45(c))

Appeal the decision of the Building Commissioner - \$240 non-refundable filing fee

Appeal the interpretation of the Zoning Code - \$500 non-refundable filing fee

Project Address 429 MIRIAM AVE

Type of Work: New Construction Addition Other _____

Type of Structure: Single-family Multi-family Commercial Accessory
 Other _____

Has a previous variance application been filed on these premises within the last three (3) years?

Yes No *if yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name PAUL FENDLER Phone 314-664-7725

Address 5201 PATISON AVE jtaylor@fendlerworld.com

City/State/Zip ST. LOUIS, MO 63110 E-mail pfe@fendlerworld.com

Applicants Signature [Signature] Date 10-6-21

Property Owner Information (if different from above):

Name GREG + EVE BEYE Phone 314-602-8941

Address 438 Bogey Lane

City/State/Zip KIRKWOOD, MO 63122 E-mail gregbeye@gmail.com

City Use Only

Meeting Date: 11/8/21
Case #: 26-0021
Zoning District: R-3
Received by: AGL



CITY'S EXHIBIT NO. 1

October 6, 2021

Board of Adjustment

City of Kirkwood

139 South Kirkwood Road

Kirkwood, MO 63122



RE: Variance Request for 429 Miriam Avenue

To Whom It May Concern:

We are seeking a variance to encroach into the 35-foot rear yard setback a total distance of 9-feet, leaving us a total distance of 26-feet to the rear property line. This encroachment is in violation of the Kirkwood zoning ordinance, section 25-48 (b), (1) and Table 48-2.

The house at 429 Miriam Avenue is a landmark designated home in the R-3 zoning district. The house orientation is unique in that the front of the house faces the side property line, and the side of the house faces the street. The house also sits far off Miriam Avenue, well behind the front building line and well behind the other homes on this street. There is an existing detached garage which will remain.

429 Miriam Avenue is a small house by today's standards, and our client, Greg and Eve Beye, would like to renovate and enlarge the home. The expansion will include a new kitchen, family room and additional bedroom space. The kitchen addition is in the optimal location, adjacent to the dining room and mud room. Because of the house orientation, it's distance from the street, and the location of the existing garage, there are no alternate design solutions for the kitchen expansion that do not encroach into the rear yard setback. We feel that an undue hardship exists, and we respectfully request your consideration for a variance.

Sincerely,

Fendler+ Associates, Inc.

Architects

Cc: Greg and Eve Beye, Owner



WHERE COMMUNITY AND SPIRIT MEET[®]

October 25, 2021

Paul Fendler
5201 Pattison Avenue
St Louis, MO 63110

Sent via email to: jtaylor@fendlerworld.com, pf@fendlerworld.com

RE: Variance Request
Case No. 26-2021
429 Miriam Ave
Zoning District R-3

Dear Mr. Fendler:

Your variance request from the Kirkwood Board of Adjustment has been set for Public Hearing on November 8, 2021, at 7:00 p.m. **This meeting will be in person at Kirkwood City Hall.** The Board of Adjustment is a duly constituted body with certain powers to grant a variance, which will permit a deviation from fixed standards, when the applicant can demonstrate to the Board that the standards set forth below will result in a practical difficulty. These powers are set forth in Article II, Section 25-24 of the Zoning and Subdivision Code of the City of Kirkwood; please refer to that section for any further information as to the powers of the Board as they apply to your variance.

You or your representative shall, at the time and place above, present all evidence that may have a bearing upon this case and that you believe to be relevant. This may include oral testimony under oath as well as the introduction of any documents or other records that you believe to be related to the proceedings. The burden of proof lies with the applicant. All proceedings before the Board are formal in that all testimony is under oath and a court reporter will make a verbatim transcript of all matters that are presented before the Board.

Article VI, Section 25-48, Sub-section 25-48(b)(1) & Table 48-2 of the Zoning and Subdivision Code requires a rear yard setback of 35 feet in this particular instance. The addition to the single-family residence you wish to construct will provide a rear yard setback of 25.94 feet. This is 9.06 feet closer to the rear yard property line than the Zoning and Subdivision Code allows.

Article II, Section 25-24(c)(1) of the Zoning and Subdivision Code allows the Board of Adjustment to consider the following factors to determine whether a practical difficulty exists that would justify approval of an area or dimensional variance:


CITY'S EXHIBIT NO. 3

- (i) Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions;
- (ii) Whether the variance is not substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- (iii) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- (iv) Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- (v) Whether the property owner's request can be obviated through some method other than a variance;
- (vi) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance; and
- (vii) Whether a strict interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this code.

I have attached the agenda for the meeting. Please contact me if you have any questions with regard to this matter before the public hearing.

Sincerely,

CITY OF KIRKWOOD



Amy Gillis Lowry, AICP
Planner II

Encl. Meeting Agenda

cc: Greg and Eve Beye via email to gregbeye@gmail.com
429 Miriam Ave.
Kirkwood, MO 63122

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF ST. LOUIS

} S.S.

Before the undersigned Notary Public personally appeared **Stephen Pope** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **October 22, 2021** edition and ending with the **October 22, 2021** edition, for a total of 1 publications:

10/22/2021

**NOTICE OF PUBLIC HEARING
BEFORE THE BOARD OF
ADJUSTMENT
CITY OF KIRKWOOD, MISSOURI**

The Board of Adjustment of the City of Kirkwood will hold a Public Hearing in the City Hall Council Chambers, 139 S. Kirkwood Road, on November 8, 2021, at 7:00 P.M. to consider the following:

New Business

Case No. 26-2021- 429 Miriam Ave.
-rear yard setback variance for an addition.

Case No. 27-2021-886 Dewberry Ct.- rear yard setback variance for an addition.

Case No. 28-2021-302 George Ave.
-front yard setback and finished first floor height variances for new single-family residence

Case No. 29-2021-304 George Ave.
-front yard setback and finished first floor height variances for new single-family residence

Case No. 30-2021-1231 Simmons Ave. -front yard encroachment variance for a porch

Such hearing may be adjourned from time to time until completed.

Questions may be directed to Amy Lowry at 314-822-5815 or lowryag@kirkwoodmo.org.

BY ORDER OF: Joe Roeser, Secretary-Board of Adjustment Kirkwood, Missouri, October 22, 2021. The City of Kirkwood is interested in effective communication for all persons.

Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802. 12046977 County Oct 22, 2021

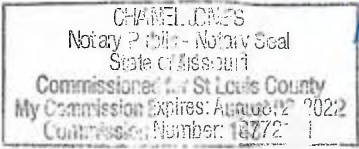
Stephen Pope

Stephen Pope

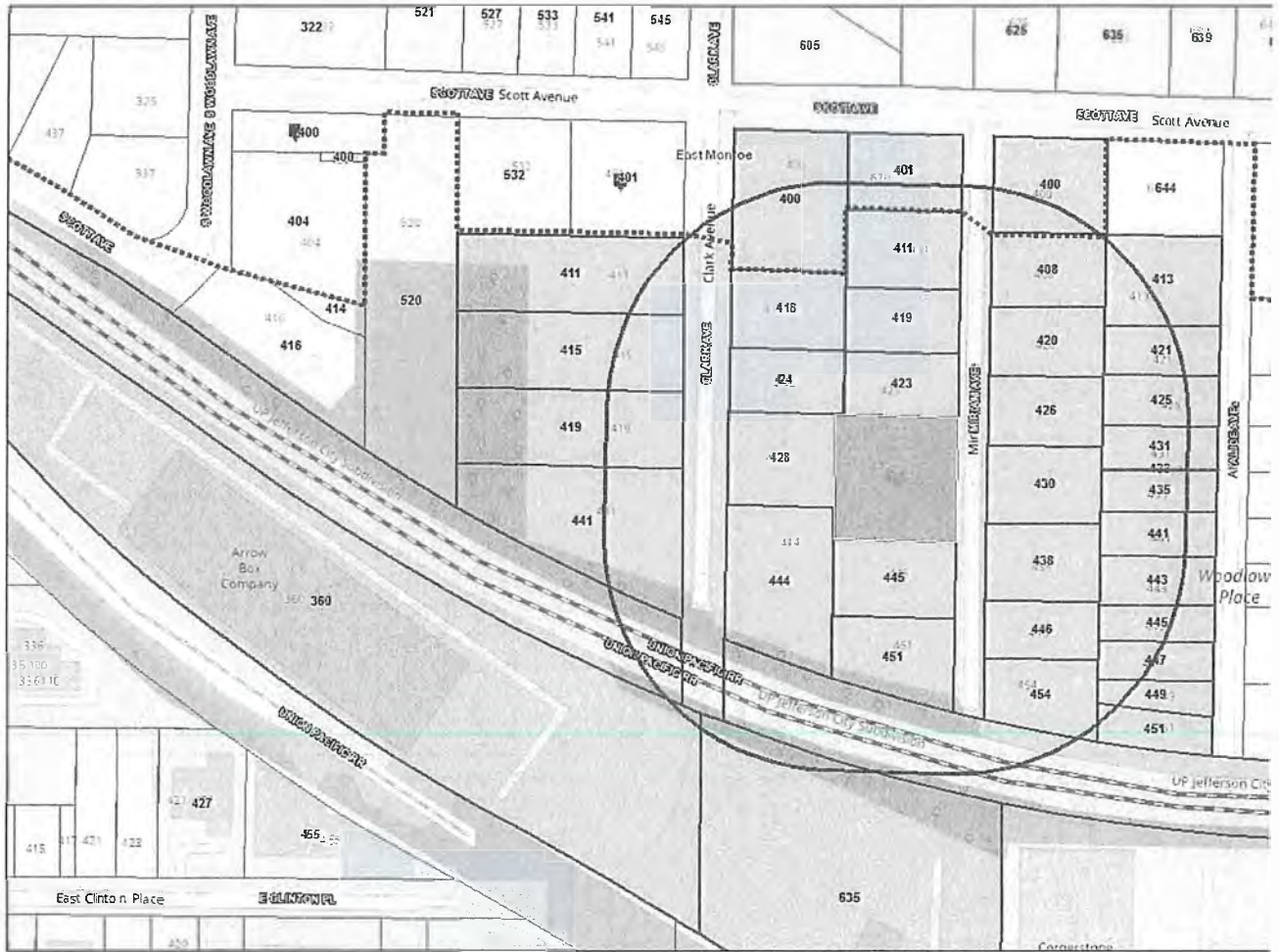
Su bscribed & sworn before me this 22nd day of Oct, 2021
(SEAL)

Chanel Jones

Notary Public



City of Kirkwood Basemap



10/21/2021 9:57:46 AM

- Parcels
- Districts
- Street Centerf...
- National Register
- Landmarks
- Local Register
- Landmarks

CITY'S EXHIBIT NO. 5

FONTANA MICHAEL A & MARYL...
307 WESSEX AVE
SAINT LOUIS, MO 63122

KEISER THOMAS H SUZANNE ...
435 ALICE AVE
SAINT LOUIS, MO 63122

CULLINANE JOHN S TRUSTEE
413 ALICE AVE
SAINT LOUIS, MO 63122

KLOS STÈVE M & SARAH T/E
451 ALICE AVE
SAINT LOUIS, MO 63122

BLANKENSHIP BRADLEY & OT...
431 ALICE AVE
SAINT LOUIS, MO 63122

LEWIS HOMES L L C
204 PEEKE AVE
SAINT LOUIS, MO 63122

HUBERT ANTHONY D MELANIE...
449 ALICE AVE
SAINT LOUIS, MO 63122

LONG RICHARD & KELLY H/W
430 MIRIAM AVE
SAINT LOUIS, MO 63122

FAGAN REVOCABLE TRUST TH...
411 CLARK AVE
SAINT LOUIS, MO 63122

DONNELLY JENNY
454 MIRIAM AVE
SAINT LOUIS, MO 63122

BLANKENSHIP BRADLEY & OT...
431 ALICE AVE
SAINT LOUIS, MO 63122

DUTCH REALTY LLC
360 LEFFINGWELL AVE
SAINT LOUIS, MO 63122

HARES DAVID IVOR
447 ALICE AVE
SAINT LOUIS, MO 63122

HAFER R W & GAIL HEYNE H/...
419 CLARK AVE
SAINT LOUIS, MO 63122

VACCARO SCOTT J & LISA J H/...
400 MIRIAM AVE
SAINT LOUIS, MO 63122

RETTER JASON S & KRISTEN A...
445 ALICE AVE
SAINT LOUIS, MO 63122

BOHN GEORGE C JR REV TRU...
426 MIRIAM AVE
SAINT LOUIS, MO 63122

DILORIO GINO & FLEET KATHE...
441 CLARK AVE
SAINT LOUIS, MO 63122

BENDEL MARYE REVOCABLE ...
446 MIRIAM AVE
SAINT LOUIS, MO 63122

VITT DENNIS & JANE E H/W
425 ALICE AVE
SAINT LOUIS, MO 63122

BAILEY SEAN B
451 MIRIAM AVE
SAINT LOUIS, MO 63122

BENCHMARK CUSTOM HOMEB...
13281 SPINDLE LN
SAINT LOUIS, MO 63122

KERCKHOFF ARTHUR F IV & M...
421 ALICE AVE
SAINT LOUIS, MO 63122

PECHA ROGER W & DIANNE B ...
400 CLARK AVE
SAINT LOUIS, MO 63122

REBORE RONALD W ETAL
438 MIRIAM AVE
SAINT LOUIS, MO 63122

LESMEISTER ROBERT T ET AL ...
415 CLARK AVE
SAINT LOUIS, MO 63122

FOSTER STEVEN & AMY TRUS...
411 MIRIAM AVE
SAINT LOUIS, MO 63122

QUINDRY PAUL & ELIZABETH H...
441 ALICE AVE
SAINT LOUIS, MO 63122

MCHUGH CAMILLA J ETAL
420 MIRIAM AVE
SAINT LOUIS, MO 63122

DRAKE THOMAS H MARIAN B ...
418 CLARK AVE
SAINT LOUIS, MO 63122

RIGGAN RUSSELL C REVOCAB...
424 CLARK AVE
SAINT LOUIS, MO 63122

HILL DEBORAH L TRUSTEE
429 MIRIAM AVE
SAINT LOUIS, MO 63122

EVANS LAWRENCE G JR & MAR...
444 CLARK AVE
SAINT LOUIS, MO 63122

DIECKHAUS SCOTT & JAIME T/...
34 DEERFIELD TER
SAINT LOUIS, MO 63124

WINKELHOCH STEPHEN L
428 CLARK AVE
SAINT LOUIS, MO 63122

GION ELLIOTT & JENNIFER H/W
423 MIRIAM AVE
SAINT LOUIS, MO 63122

DAVIS EARL A JOYCE A
445 MIRIAM AVE
SAINT LOUIS, MO 63122

RHOADS MICHAEL C REVOCAB...
620 SCOTT AVE
SAINT LOUIS, MO 63122

OWNERSHIP INDETERMINABLE

OWNERSHIP INDETERMINABLE

"SIEBER'S SUBDIVISION"
P.B. 44, PG. 61

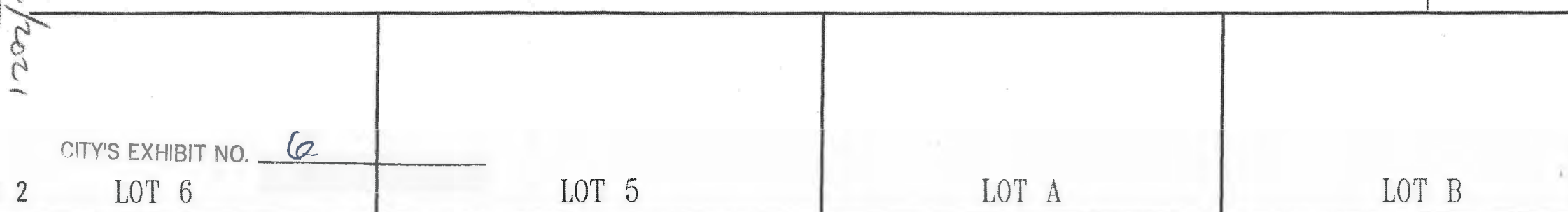
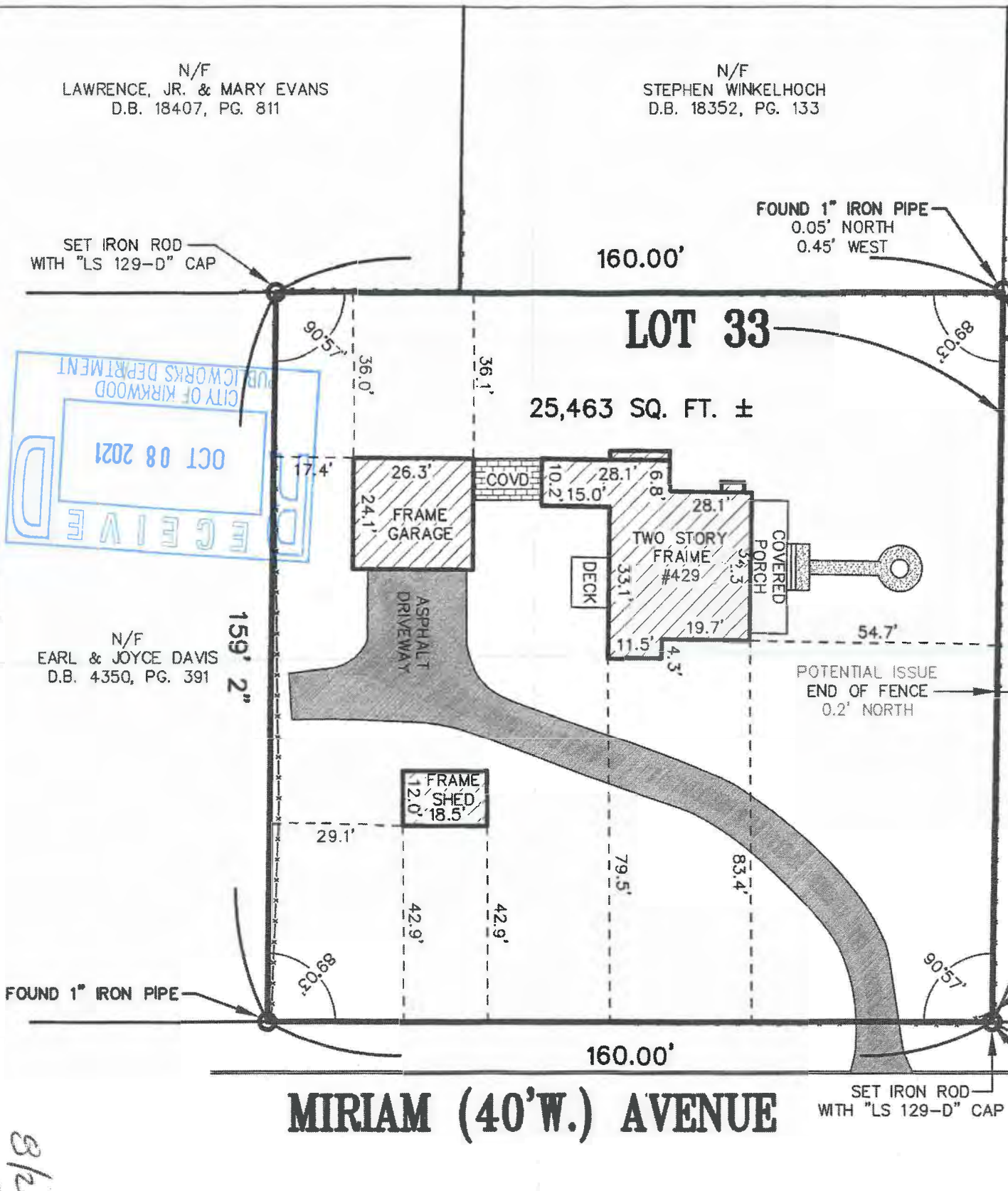
N/F
RUSSELL RIGGAN REVOCABLE TRUST
D.B. 18970, PG. 2823
LOT 1

LOT 2

PROPERTY BOUNDARY SURVEY

LOT 3

N/F
ELLIOTT & JENNIFER GION
D.B. 18351, PG. 2411



Alliant National Title Insurance; File Number: 607650, Dated: June 23, 2021

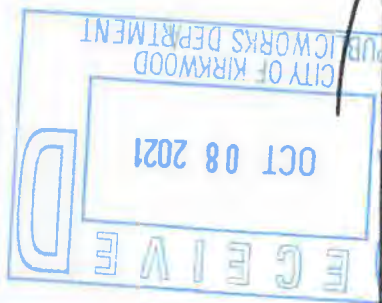
This is to certify that we, **James Surveying Company**, at the request of **Gregory L. Beye and Eve E. Beye and Investors Title Company**, we have, on the **28th day of July, 2021**, to the best of our ability and judgment, executed a Property Boundary Survey in accordance with the "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors and the Missouri Department of Agriculture, Division of Geology and Land Survey, on part of Lot 33 of **EAST KIRKWOOD**, according to the plat thereof recorded in Plat Book 3, Page 62 of the **St. Louis City (former County) Records and described, Beginning at the intersection of the North line of said Lot 33 with the West line of Miriam Avenue, 40 feet wide; thence West on the North line of said Lot 33, 159 feet 2 inches; thence South, 160 feet; thence East, 159 feet 2 inches to the West line of Miriam Avenue; thence North on the West line of Miriam Avenue, 160 feet to the Point of Beginning, in St. Louis County, Missouri**, and that this Survey reflects all visible improvements, including fences and Easements, as depicted on the Record Plat and on the above mentioned Title Commitment. The subject property is an URBAN property as defined in said Standards. The Building Lines and Easements, unless otherwise referenced, are taken from the Record Plat, the current Zoning Set Backs may not be shown. **This Boundary Survey is non-transferable.**

N/F
LAWRENCE, JR. & MARY EVANS
D.B. 18407, PG. 811

N/F
STEPHEN WINKELHOCH
D.B. 18352, PG. 133

SET IRON ROD
WITH "LS 129-D" CAP

FOUND 1" IRON PIPE
0.05' NORTH
0.45' WEST



N/F
EARL & JOYCE DAVIS
D.B. 4350, PG. 391

POTENTIAL ISSUE
END OF FENCE
0.2' NORTH

POTENTIAL ISSUE
FENCE CORNER
0.5' NORTH
2.4' WEST

366' TO A FOUND 1" IRON PIPE AT THE
INTERSECTION OF THE SOUTHERLY LINE
OF SCOTT AVENUE, 60 FEET WIDE

SET IRON ROD
WITH "LS 129-D" CAP

POINT OF
BEGINNING



MIRIAM (40'W.) AVENUE

CITY'S EXHIBIT NO. 6

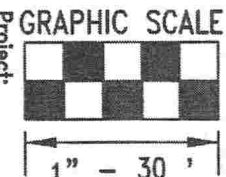
SHEET 2 OF 2

LOT 6

LOT 5

LOT A

LOT B



Surveyed by: J. Torrence
Drafted by: L. Klutho
Dated: August 2, 2021
Revised: -

Property Boundary Survey: 429 Miriam Avenue, Kirkwood, MO 63122
Survey Number: 213569

Professional Land Surveyor
In Responsible Charge
MISSOURI REGISTRATION NUMBER: PLS-2005019212
EXPIRES: DECEMBER 31, 2021

LEO J. KLUTHO



8/2/2021

10811 BIG BEND BOULEVARD, KIRKWOOD, MO 63122; PHONE: (314) 822-1006; FAX: (314) 822-0006
ORIGINAL CERTIFICATE/LICENSE NUMBER 000129

LEGEND	
DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	---500---
PROPOSED MINOR CONTOUR	---502---
PROPOSED SPOT ELEVATION	+502.00
EXISTING SANITARY SEWER	---○---
EXISTING STORM SEWER	---□---
PROPOSED SANITARY SEWER	---●---
PROPOSED STORM SEWER	---■---
EXISTING WATERLINE	---W---
EXISTING FIRE HYDRANT	---●---
EXISTING GAS LINE	---G---
EXISTING OVERHEAD UTILITY	---OU---
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

FF = FINISHED FLOOR ELEVATION
TF = TOP OF FOUNDATION
BF = BASEMENT FLOOR ELEVATION
TW = FINISHED GRADE AT TOP OF WALL
BW = FINISHED GRADE AT BOTTOM OF WALL
CO = CLEAN OUT
DS = DOWNSPOUT
WW = WINDOW WELL
+570.0 (PROPOSED SPOT ELEVATION)
+EX-570.0 (EXISTING SPOT ELEVATION)

YARD SETBACK REQUIREMENTS

FRONT: 40 FEET (EX. HOUSE IS SETBACK 130'±)
SIDE: 12 FEET
REAR: 35 FEET

NOTE: THE PROPOSED ADDITION WILL NOT EXTEND TO THE FRONT OF THE EXISTING HOUSE.

LOT COVERAGE

LOT AREA = 25,463 SF
MAX COVERAGE ALLOWED FOR 2 STORY: 25%
PROPOSED COVERAGE: 3,609 SF (HOUSE, PORCH, GARAGE.....)
=300 SF (FRONT PORCH)
3,309 / 25,463 = 13% 3,309 SF



**BEFORE YOU
DIG - DRILL - BLAST
1-800-344-7483
(TOLL FREE)
MISSOURI ONE CALL SYSTEM, INC.**

NOTICE TO CONTRACTOR

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY/FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

#429 MIRIAM AVENUE

A TRACT OF LAND BEING PART OF LOT 33 OF "EAST KIRKWOOD",
A SUBDIVISION RECORDED IN P.B. 3, PG. 62 OF THE ST. LOUIS COUNTY RECORDS
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI

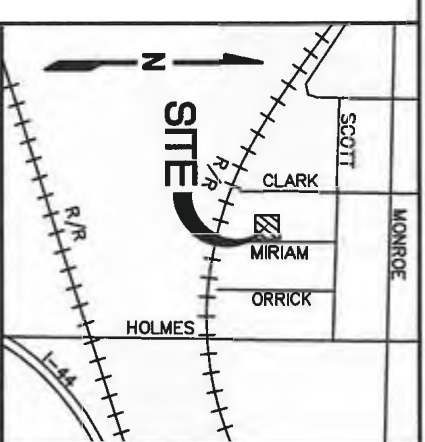
Vance Engineering, Inc.

10537 Lockland Road
St. Louis, MO 63114
P: 314.427.1800

VANCE ENGINEERING, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

PROJECT DATA

LOCATOR NO. : 23M610564
OWNER : GREGORY & EVE BEYE
SITE ADDRESS : 519 N. TAYLOR AVE
KIRKWOOD, MO 63122
ACREAGE OF TRACT : 25,463 S.F. (0.58 AC±)
PRESENT ZONING : R-3
PRESENT USAGE : SINGLE FAMILY RESIDENTIAL
PROPOSED USAGE : SINGLE FAMILY RESIDENTIAL
SCHOOL DISTRICT : KIRKWOOD
ZIP CODE : 63122
WATERSHED(S) : RIVER DES PERES
FIRE DISTRICT : KIRKWOOD
FIRM PANEL : 29189C0309K, ZONE X
UTILITIES : AMEREN UE
: SPIRE - GAS COMPANY
: AT&T TELEPHONE COMPANY
: MISSOURI-AMERICAN WATER CO.
: METROPOLITAN ST. LOUIS SEWER DIST.



GENERAL NOTES

- BOUNDARY INFORMATION PROVIDED BY JAMES SURVEYING AND TOPOGRAPHIC INFORMATION PROVIDED BY AVAILABLE INFORMATION.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF THE CITY OF KIRKWOOD, MSD, AND MODNR.
- SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- SANITARY SEWERS TO MEET THE CITY OF KIRKWOOD AND M.S.D. STANDARDS ON SITE.
- ALL UTILITY SERVICES SHALL BE UNDERGROUND.
- UTILITY INFORMATION PER SURVEY PROVIDED AND AVAILABLE RECORDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF KIRKWOOD STANDARDS.
- THE FINISHED GRADE LEVEL AT THE BUILDING TO BE MINIMUM OF 6" BELOW TOP OF FOUNDATION FOR MASONRY AND 8" FOR FRAME AND BRICK VENER.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- ALL GRADING SHALL CONFORM TO THE APPROVED GRADING PLAN.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED SO AS TO MAINTAIN A 2'6" DEPTH OF EARTH COVER OR AS REQUIRED BY THE LOCAL BUILDING CODES.
- BUILDING DIMENSIONS ARE TO BE VERIFIED WITH ARCHITECT PRIOR TO EXCAVATION OR CONSTRUCTION.
- ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.
- GUTTER LEAF GUARDS TO BE INSTALLED. COORDINATE WITH ARCHITECT.
- ALL DOWNSPOUT PIPING TO BE SMOOTH WALL PIPE.

FF CALCULATION

PROPOSED FINISHED FLOOR OF THE ADDITION SHALL BE AT THE SAME ELEVATION AS THE EXISTING HOUSE.

STORM WATER CALCULATIONS

LOT AREA = 25,463 S.F.
EXISTING IMPERVIOUS AREA = 4,867 S.F. (25.5%)
PROPOSED IMPERVIOUS AREA = 7,080 S.F. (27.8%)
NET INCREASE IN IMPERVIOUS AREA = 2,213 S.F.
STORM WATER MANAGEMENT TO BE PROVIDED FOR THE AMOUNT OF IMPERVIOUS AREA THAT EXCEEDS 25% OF THE LOT AREA.
7,080 - (25,463 X 25%) = 714 S.F.
AMOUNT OF STORMWATER DETENTION REQUIRED: 714 S.F. X 1.14" = 68 C.F.
UNKNOWN INFILTRATION RATE (+10%) + 7 C.F.
TOTAL = 75 C.F.

PROPOSED METHOD OF STORM WATER MANAGEMENT: FLO-WELL WITH AGGREGATE INFILTRATION BED.
AREA DESIGNATION AND SUPPORTING CALCULATIONS TO BE PROVIDED ON SITE PLAN.

VOLUME OF WATER DETAINED:
81 S.F. x 2.5' x 40% = 81 C.F.

DISCLAIMER

THE WORK PREPARED BY OR UNDER THE DIRECTION OF THE ENGINEER AND AUTHENTICATED BY HIS SEAL AND DATED SIGNATURE IS LIMITED TO SITEWORK ITEMS ONLY, INCLUDING: GRADING, DRAINAGE, PAVING, SEWERS, AND OTHER APPURTENANT SITE IMPROVEMENTS. PURSUANT TO 327.411 RSMo, NO RESPONSIBILITY IS TAKEN FOR SERVICES NOT RENDERED, INCLUDING: BOUNDARY AND TOPOGRAPHIC SURVEYS; STRUCTURAL ELEMENTS (INCLUDING RETAINING WALLS); GEOTECHNICAL INVESTIGATIONS AND RECOMMENDATIONS; UTILITY DISTRIBUTION FACILITIES; CONSTRUCTION MEANS, METHODS, AND SCHEDULING; ANY AND ALL OTHER PLANS, SPECIFICATION, ESTIMATES, OR REPORTS THAT DO NOT BEAR THE SEAL, AUTHENTICATING SIGNATURE, AND DATE OF THE ENGINEER.

PRELIMINARY

PREPARED FOR:
Gregory & Eve Beye
429 Miriam Avenue
St. Louis, MO 63122

1/22/2021 PROJECT NO. 20154 1 OF 2

DAVID A. LUEKER, P.E.
ENGINEER E-27222

LEGEND	
DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	---500---
EXISTING MINOR CONTOUR	---502---
PROPOSED MAJOR CONTOUR	—500—
PROPOSED MINOR CONTOUR	—5D2—
PROPOSED SPOT ELEVATION	+5D2.0D
EXISTING SANITARY SEWER	---C---
EXISTING STORM SEWER	---□---
PROPOSED SANITARY SEWER	—●—
PROPOSED STORM SEWER	—■—
EXISTING WATERLINE	—W—
EXISTING FIRE HYDRANT	⊗
EXISTING GAS LINE	—G—
EXISTING OVERHEAD UTILITY	—OU—
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

FF = FINISHED FLOOR ELEVATION
 TF = TOP OF FOUNDATION
 BF = BASEMENT FLOOR ELEVATION
 TW = FINISHED GRADE AT TOP OF WALL
 BW = FINISHED GRADE AT BOTTOM OF WALL
 CO = CLEAN OUT
 DS = DOWNSPOUT
 WW = WINDOW WELL
 +570.0 (PROPOSED SPOT ELEVATION)
 +EX-570.0 (EXISTING SPOT ELEVATION)

YARD SETBACK REQUIREMENTS

FRONT: 40 FEET (EX. HOUSE IS SETBACK 130'±)
 SIDE: 12 FEET
 REAR: 35 FEET

NOTE: THE PROPOSED ADDITION WILL NOT EXTEND TO THE FRONT OF THE EXISTING HOUSE.

LOT COVERAGE

LOT AREA = 25,463 SF
 MAX COVERAGE ALLOWED FOR 2 STORY: 25%
 PROPOSED COVERAGE: 3,609 SF (HOUSE, PORCH, GARAGE.....)
 -300 SF (FRONT PORCH)
 3,309 / 25,463 = 13%



**BEFORE YOU
 DIG - DRILL - BLAST**
1-800-344-7483
(TOLL FREE)

MISSOURI ONE CALL SYSTEM, INC.

NOTICE TO CONTRACTOR

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY/FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

PROJECT DATA

LOCATOR NO. : 23M610564
 OWNER : GREGORY & EVE BEYE
 SITE ADDRESS : 519 N. TAYLOR AVE
 KIRKWOOD, MO 63122
 ACREAGE OF TRACT : 25,463 S.F. (0.58 AC±)
 PRESENT ZONING : R-3
 PRESENT USAGE : SINGLE FAMILY RESIDENTIAL
 PROPOSED USAGE : SINGLE FAMILY RESIDENTIAL
 SCHOOL DISTRICT : KIRKWOOD
 ZIP CODE : 63122
 WATERSHED(S) : RIVER DES PERES
 FIRE DISTRICT : KIRKWOOD
 FIRM PANEL : 29189C0309K, ZONE X
 UTILITIES : AMEREN UE
 : SPIRE - GAS COMPANY
 : AT&T TELEPHONE COMPANY
 : MISSOURI-AMERICAN WATER CO.
 : METROPOLITAN ST. LOUIS SEWER DIST.



LOCATION MAP
 N.T.S.

GENERAL NOTES

- BOUNDARY INFORMATION PROVIDED BY JAMES SURVEYING AND TOPOGRAPHIC INFORMATION PROVIDED BY AVAILABLE INFORMATION.
- GRADING AND STORMWATER DRAINAGE TO CONFORM TO THE STANDARDS OF THE CITY OF KIRKWOOD, MSD, AND MoDNR.
- SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- SANITARY SEWERS TO MEET THE CITY OF KIRKWOOD AND M.S.D. STANDARDS ON SITE.
- ALL UTILITY SERVICES SHALL BE UNDERGROUND.
- UTILITY INFORMATION PER SURVEY PROVIDED AND AVAILABLE RECORDS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF KIRKWOOD STANDARDS.
- THE FINISHED GRADE LEVEL AT THE BUILDING TO BE MINIMUM OF 6" BELOW TOP OF FOUNDATION FOR MASONRY AND 8" FOR FRAME AND BRICK VENEER.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.
- ALL GRADING SHALL CONFORM TO THE APPROVED GRADING PLAN.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED SO AS TO MAINTAIN A 2'6" DEPTH OF EARTH COVER OR AS REQUIRED BY THE LOCAL BUILDING CODES.
- BUILDING DIMENSIONS ARE TO BE VERIFIED WITH ARCHITECT PRIOR TO EXCAVATION OR CONSTRUCTION.
- ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.
- GUTTER LEAF GUARDS TO BE INSTALLED. COORDINATE WITH ARCHITECT.
- ALL DOWNSPOUT PIPING TO BE SMOOTH WALL PIPE.

FF CALCULATION

PROPOSED FINISHED FLOOR OF THE ADDITION SHALL BE AT THE SAME ELEVATION AS THE EXISTING HOUSE.

STORM WATER CALCULATIONS

LOT AREA = 25,463 S.F.
 EXISTING IMPERVIOUS AREA = 4,867 S.F. (25.5%)
 PROPOSED IMPERVIOUS AREA = 7,080 S.F. (27.8%)
 NET INCREASE IN IMPERVIOUS AREA = 2,213 S.F.
 STORM WATER MANAGEMENT TO BE PROVIDED FOR THE AMOUNT OF IMPERVIOUS AREA THAT EXCEEDS 25% OF THE LOT AREA.
 $7,080 - (25,463 \times 25\%) = 714 \text{ S.F.}$
 AMOUNT OF STORMWATER DETENTION REQUIRED: $714 \text{ S.F.} \times 1.14" = 68 \text{ C.F.}$
 UNKNOWN INFILTRATION RATE $(+10\%) + \frac{7 \text{ C.F.}}{\text{TOTAL}} = 75 \text{ C.F.}$

PROPOSED METHOD OF STORM WATER MANAGEMENT: FLO-WELL WITH AGGREGATE INFILTRATION BED.

AREA DESIGNATION AND SUPPORTING CALCULATIONS TO BE PROVIDED ON SITE PLAN.

VOLUME OF WATER DETAINED:
 $81 \text{ S.F.} \times 2.5' \times 40\% = 81 \text{ C.F.}$

DISCLAIMER

THE WORK PREPARED BY OR UNDER THE DIRECTION OF THE ENGINEER AND AUTHENTICATED BY HIS SEAL AND DATED SIGNATURE IS LIMITED TO SITEWORK ITEMS ONLY, INCLUDING: GRADING, DRAINAGE, PAVING, SEWERS, AND OTHER APPURTENANT SITE IMPROVEMENTS. PURSUANT TO 327.411 RSMo, NO RESPONSIBILITY IS TAKEN FOR SERVICES NOT RENDERED, INCLUDING: BOUNDARY AND TOPOGRAPHIC SURVEYS; STRUCTURAL ELEMENTS (INCLUDING RETAINING WALLS); GEOTECHNICAL INVESTIGATIONS AND RECOMMENDATIONS; UTILITY DISTRIBUTION FACILITIES; CONSTRUCTION MEANS, METHODS, AND SCHEDULING; ANY AND ALL OTHER PLANS, SPECIFICATION, ESTIMATES, OR REPORTS THAT DO NOT BEAR THE SEAL, AUTHENTICATING SIGNATURE, AND DATE OF THE ENGINEER.

#429 MIRIAM AVENUE

A TRACT OF LAND BEING PART OF LOT 33 OF "EAST KIRKWOOD", A SUBDIVISION RECORDED IN P.B. 3, PG. 62 OF THE ST. LOUIS COUNTY RECORDS CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI



Vance Engineering, Inc.
 10537 Lackland Road
 St. Louis, MO 63114
 P: 314.427.1800

PREPARED FOR:

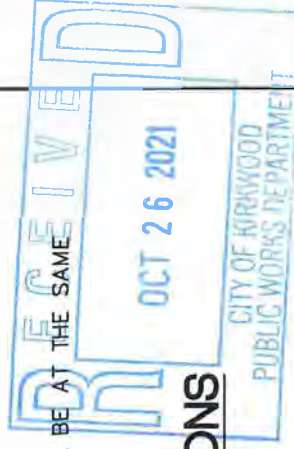
Gregory & Eve Beye
 429 Miriam Avenue
 St. Louis, MO 63122

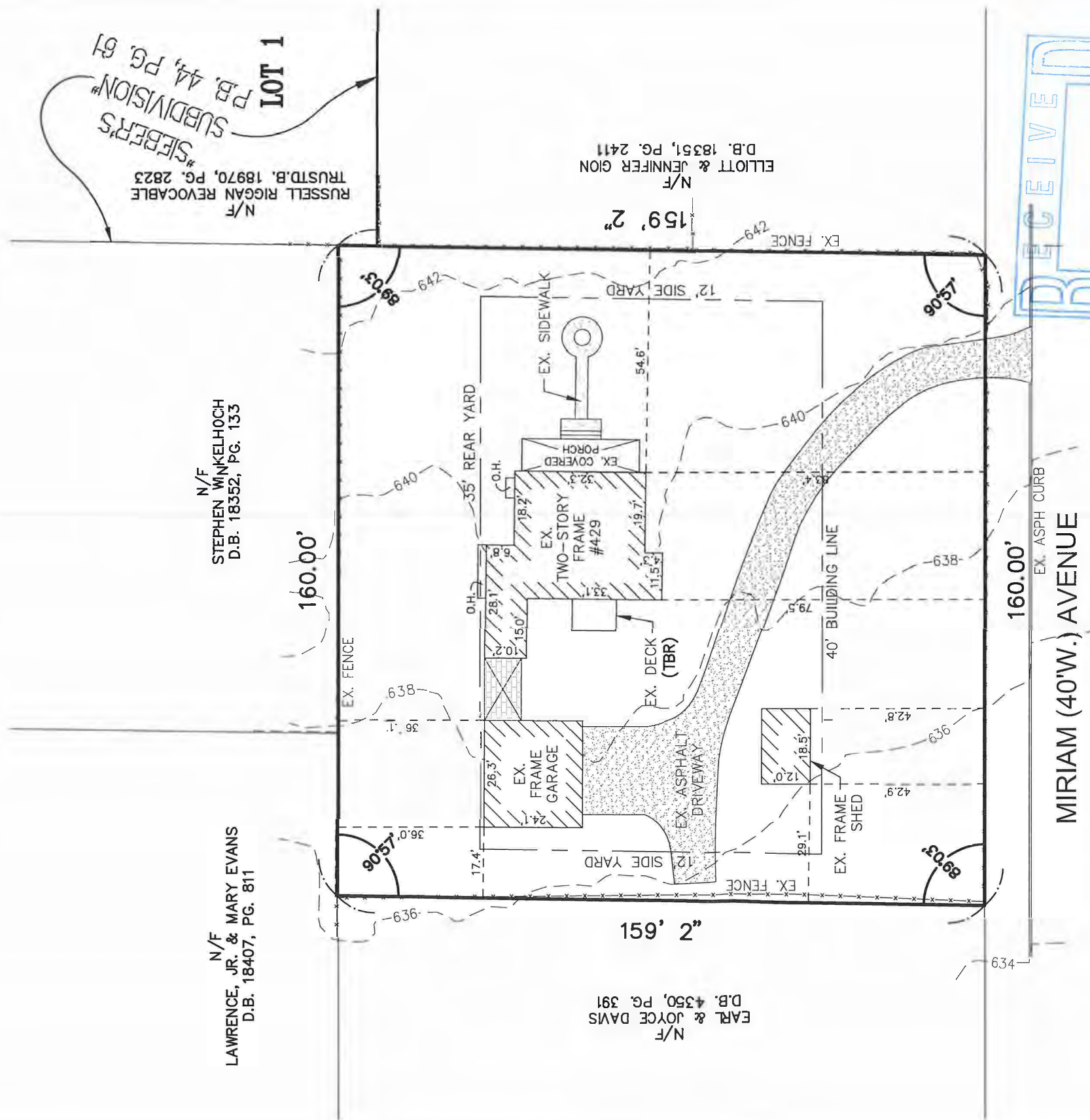
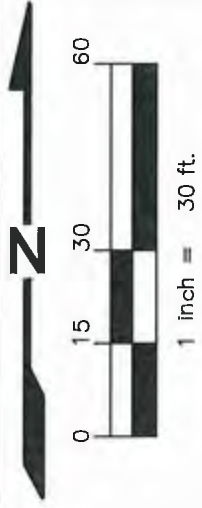
VANCE ENGINEERING, INC.
 MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

1/22/2021 PROJECT NO. 20154 1 OF 2



DAVID A. LUEKER, P.E.
 ENGINEER E-27222





EXISTING CONDITIONS PLAN

#429 MIRIAM AVENUE

A TRACT OF LAND BEING PART OF LOT 33 OF "EAST KIRKWOOD", A SUBDIVISION RECORDED IN P.B. 3, PG. 62 OF THE ST. LOUIS COUNTY RECORDS CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI

Vance Engineering, Inc.
 10537 Lackland Road
 St. Louis, MO 63114
 P: 314.427.1800

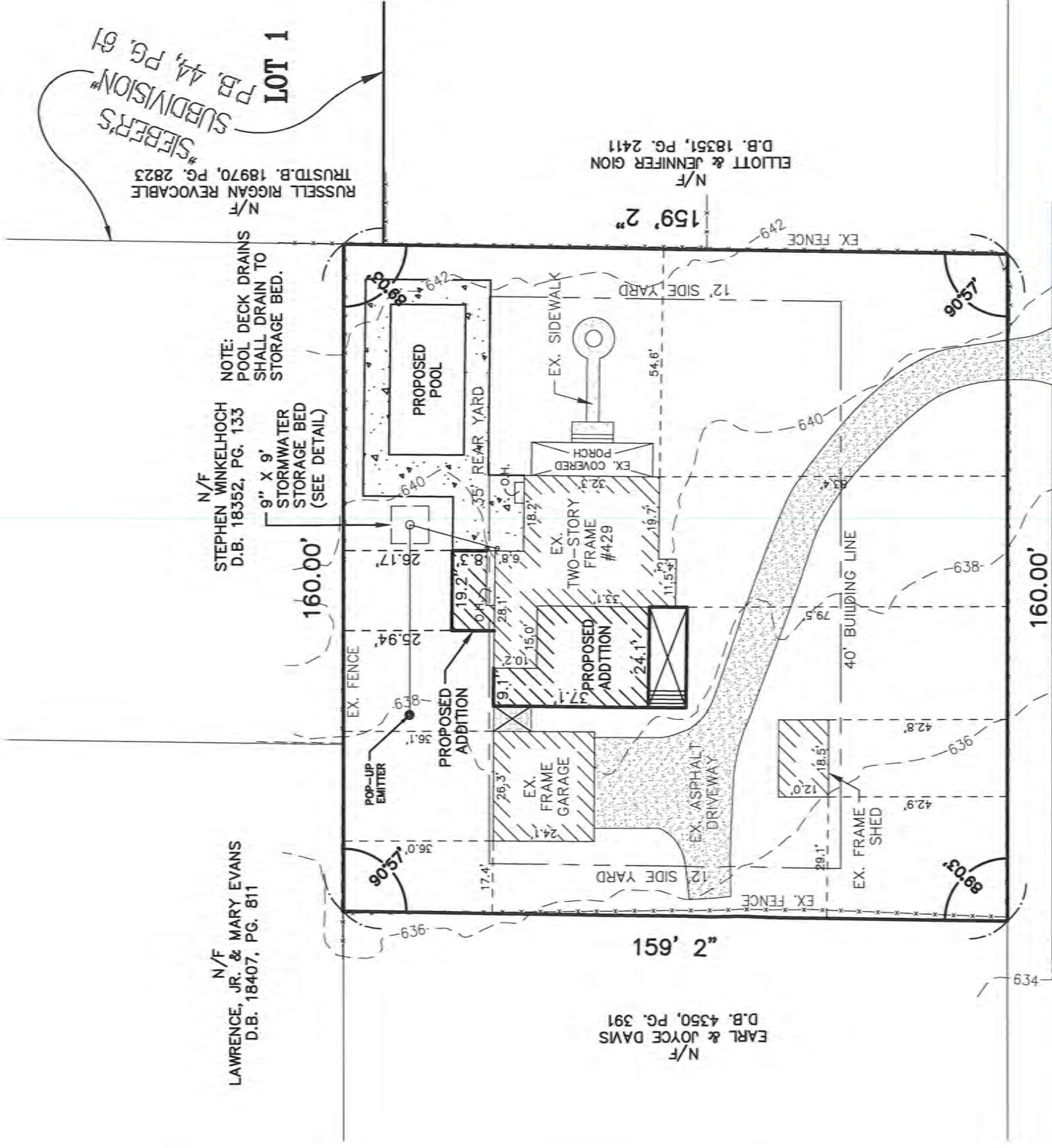
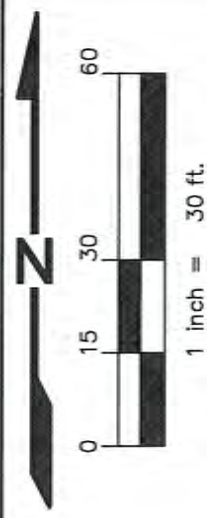
PREPARED FOR:
Gregory & Eve Beye
 429 Miriam Avenue
 St. Louis, MO 63122



10/7/21
 DAVID A. LUEKER, P.E.
 ENGINEER E-27222

VANCE ENGINEERING, INC.
 MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

10/07/2021 PROJECT NO. 21169 2 OF 4



RECEIVED
 OCT 26 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT

SITE / GRADING PLAN

#429 MIRIAM AVENUE

A TRACT OF LAND BEING PART OF LOT 33 OF "EAST KIRKWOOD", A SUBDIVISION RECORDED IN P.B. 3, PG. 62 OF THE ST. LOUIS COUNTY RECORDS CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI



Vance Engineering, Inc.
 10537 Lackland Road
 St. Louis, MO 63114
 P: 314.427.1800

PREPARED FOR:
Gregory & Eve Beye
 429 Miriam Avenue
 St. Louis, MO 63122

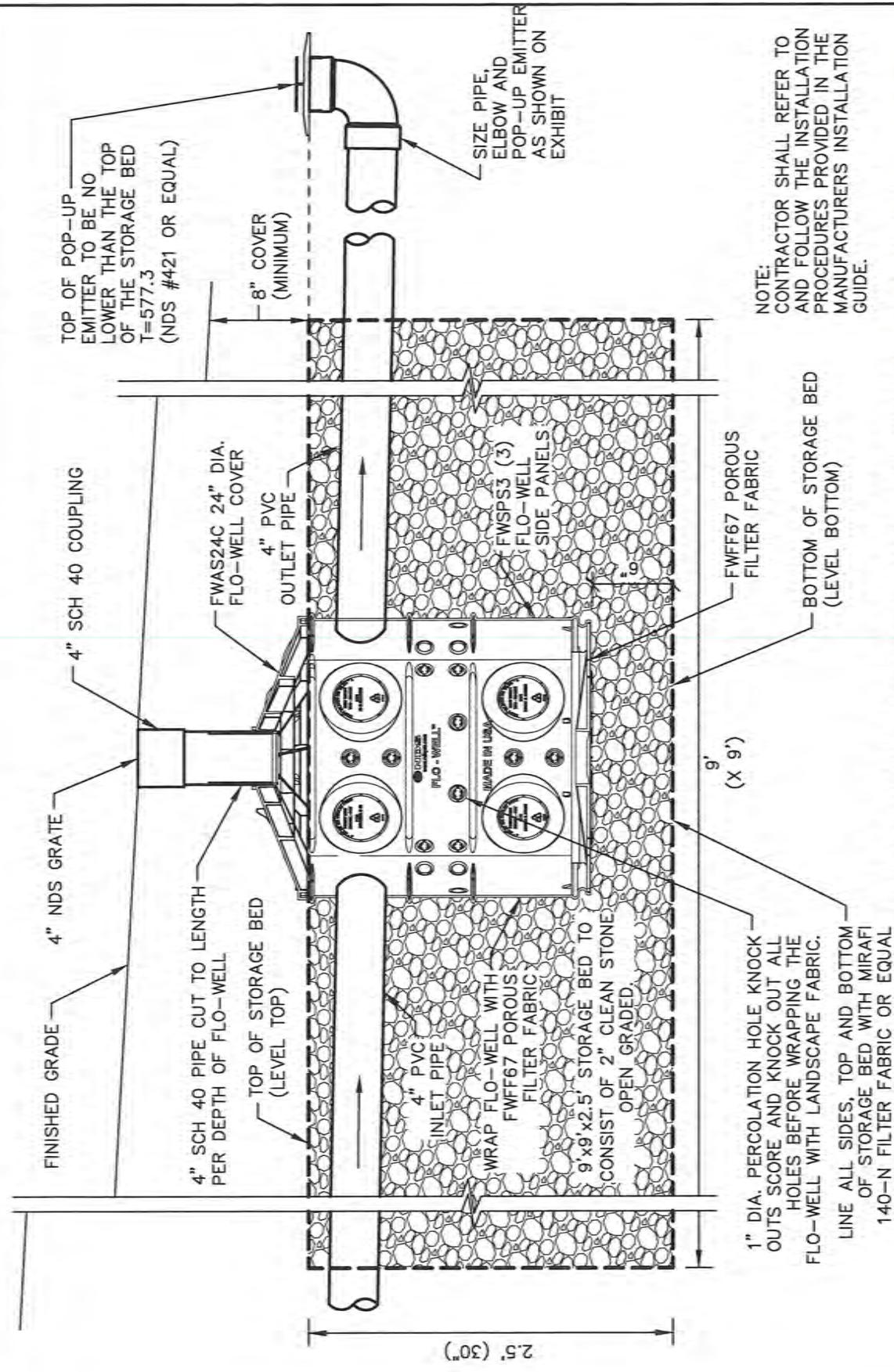
VANCE ENGINEERING, INC.
 MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

10/07/2021 PROJECT NO. 21169 3 OF 4



DAVID A. LUEKER, P.E.
 ENGINEER E-27222
 10/7/21

CITY'S EXHIBIT NO. _____



STORM WATER STORAGE BED with NDS FLO-WELL

SECTION VIEW (1" = 1')



NOTE:
CONTRACTOR SHALL REFER TO AND FOLLOW THE INSTALLATION PROCEDURES PROVIDED IN THE MANUFACTURERS INSTALLATION GUIDE.

- NOTES:
1. GRANULAR FILL SHALL BE 1" MIN. CLEAN DRAINAGE ROCK.
 2. COMPACT SOIL MATERIAL UNDER LAWNS TO 85% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST. (ASTM D 1557)

POP-UP EMITTER

#429 MIRIAM AVENUE

A TRACT OF LAND BEING PART OF LOT 33 OF "EAST KIRKWOOD", A SUBDIVISION RECORDED IN P.B. 3, PG. 62 OF THE ST. LOUIS COUNTY RECORDS CITY OF KIRKWOOD, ST. LOUIS COUNTY, MISSOURI



Vance Engineering, Inc.
10537 Lackland Road
St. Louis, MO 63114
P: 314.427.1800

PREPARED FOR:
Gregory & Eve Beye
429 Miriam Avenue
St. Louis, MO 63122



DAVID A. LUEKER, P.E.
10/7/21
ENGINEER E-27222

VANCE ENGINEERING, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

10/07/2021 PROJECT NO. 21169 4 OF 4

CITY'S EXHIBIT NO. _____

Case Summary

Case Number	27-2021				
Zoning District	R-4				
Project Address	886 Dewberry Ct				
Applicant Name	Jason Mallory				
Property Owner	Jason Mallory				
Article	VI	Section	25-48	Sub-Section	25-48(b)(1) & Table 48-2
Variance Request	Rear yard setback – for a 2 nd story addition and garage				
Required	30'				
Proposed	5'				
Variance Requested	25'				

History of address: N/A

Summary Approved by: AGL

Labels printed _____

Letter mailed _____

300 ft. notice mailed _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122

***An appointment with staff is required** prior to the submittal of a variance application to assist in preparing your submittal information. Please contact Amy Lowry, Planner II at 314-822-5815 to schedule an appointment.

Action Requested:

Variance of Zoning Code

- \$240** non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools
- \$500** non-refundable filing fee for all others not listed above,
- \$50** fee for each additional variance request on the same application.
- Variance of Fence Code- \$200** non-refundable filing fee (per Code §5-45(c))
- Appeal the decision of the Building Commissioner - \$240** non-refundable filing fee
- Appeal the interpretation of the Zoning Code - \$500** non-refundable filing fee

Project Address 886 DEWBERRY CT, KIRKWOOD, MO 63122

Type of Work: New Construction Addition Other _____

Type of Structure: Single-family Multi-family Commercial Accessory
 Other _____

Has a previous variance application been filed on these premises within the last three (3) years?
 Yes No *If yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name JASON MAURY Phone (502) 609-0082

Address 886 DEWBERRY CT

City/State/Zip KIRKWOOD, MO 63122 E-mail jasondmallory@yahoo.com

Applicants Signature [Signature] Date 10/4/21

Property Owner Information (if different from above):

Name _____ Phone _____

Address _____

City/State/Zip _____ E-mail _____

City Use Only

Meeting Date: Nov. 8, 2021

Case #: 27-2021

Zoning District: R-4

Received by: AGL



CITY'S EXHIBIT NO. 1

JASON MALLORY AND LESLIE MALLORY

886 Dewberry Ct., Kirkwood, MO 63122 | (502) 609-0082 (cell) | jasondmallory@yahoo.com

10/7/21

Board of Adjustment
City of Kirkwood
139 S. Kirkwood Rd.,
Kirkwood, MO 63122



Dear Board of Adjustment:

We are requesting a rear yard setback variance of 25 feet for the southern end of our property as we wish to improve the state of our house in conjunction with adding a second story. The existing carport has deteriorated to the extent that it is threatening the roof and eaves of the surrounding structure (see attached photos). At present the carport exists 7-11.5 feet setback from the property line, so it does not conform to the regulation that would be required of a back yard (30 feet). We are requesting that we essentially maintain the present setback (that we receive a variance of 25 feet to a setback of 5 feet) while being able to entirely tear down the posts and foundation of the carport, which we intend to enclose as garage and living space. Not only do we consider tearing down the existing structure necessary for the home improvement we desire, but also tearing it down allows us to fend off the spread of impending structural damage from the failure of multiple points of the posts and eaves of the carport.

Our hardship case is that we are unable to significantly develop our property on the 1st level because of our corner lot's setback requirements. The house was built oriented to Dewberry Ct, but the primary front yard is on Quan Ave. We are limited to few additional feet on either the East or West sides of the building to develop the property, and there is a large grade of about four feet on the East side and a 10 ft utility easement that further complicates developing laterally. We are unable to build any further north into our primary front yard. Therefore we are seeking to slightly expand our 1st level at the existing carport and to build a 2nd story to the home. This desire to develop the structure to a fuller extent seems to us a reasonable use of the land, which is greatly limited by the restraints on corner lots.

In summary, we would like to both improve the state of the deteriorating carport and improve the livability of the structure, which exists on land that has greatly limited opportunities for further development. Thank you for your consideration.

Sincerely,



Jason Mallory and Leslie Mallory

CITY'S EXHIBIT NO. 2



WHERE COMMUNITY AND SPIRIT MEET®

October 25, 2021

Jason Mallory
886 Dewberry Ct
Kirkwood, MO 63122

Sent via email to: jasondmallory@yahoo.com

RE: Variance Request
Case No. 27-2021
886 Dewberry Ct
Zoning District R-4

Dear Mr. Mallory:

Your variance request from the Kirkwood Board of Adjustment has been set for Public Hearing on November 8, 2021, at 7:00 p.m. **This meeting will be in person at Kirkwood City Hall.** The Board of Adjustment is a duly constituted body with certain powers to grant a variance, which will permit a deviation from fixed standards, when the applicant can demonstrate to the Board that the standards set forth below will result in a practical difficulty. These powers are set forth in Article II, Section 25-24 of the Zoning and Subdivision Code of the City of Kirkwood; please refer to that section for any further information as to the powers of the Board as they apply to your variance.

You or your representative shall, at the time and place above, present all evidence that may have a bearing upon this case and that you believe to be relevant. This may include oral testimony under oath as well as the introduction of any documents or other records that you believe to be related to the proceedings. The burden of proof lies with the applicant. All proceedings before the Board are formal in that all testimony is under oath and a court reporter will make a verbatim transcript of all matters that are presented before the Board.

Article VI, Section 25-48, Sub-section 25-48(b)(1) & Table 48-2 of the Zoning and Subdivision Code requires a rear yard setback of 30 feet in this particular instance. The addition to the single-family residence you wish to construct will provide a rear yard setback of 5 feet. This is 25 feet closer to the rear yard property line than the Zoning and Subdivision Code allows.

Article II, Section 25-24(c)(1) of the Zoning and Subdivision Code allows the Board of Adjustment to consider the following factors to determine whether a practical difficulty exists that would justify approval of an area or dimensional variance:

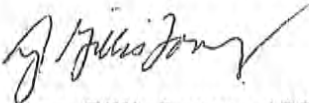
CITY'S EXHIBIT NO. 3

- (i) Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions;
- (ii) Whether the variance is not substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- (iii) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- (iv) Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- (v) Whether the property owner's request can be obviated through some method other than a variance;
- (vi) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance; and
- (vii) Whether a strict interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this code.

I have attached the agenda for the meeting. Please contact me if you have any questions with regard to this matter before the public hearing.

Sincerely,

CITY OF KIRKWOOD



Amy Gillis Lowry, AICP
Planner II

Encl. Meeting Agenda

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Stephen Pope** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **October 22, 2021** edition and ending with the **October 22, 2021** edition, for a total of 1 publications:

10/22/2021

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT

CITY OF KIRKWOOD, MISSOURI

The Board of Adjustment of the City of Kirkwood will hold a Public Hearing in the City Hall Council Chambers, 139 S. Kirkwood Road, on November 8, 2021, at 7:00 P.M. to consider the following:

New Business

Case No. 26-2021 - 429 Miriam Ave.
- rear yard setback variance for an addition.

Case No. 27-2021 - 886 Dewberry Ct. - rear yard set back variance for an addition.

Case No. 28-2021 - 302 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 29-2021 - 304 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 30-2021 - 1231 Simmons Ave. - front yard encroachment variance for a porch

Such hearing may be adjourned from time to time until completed.

Questions may be directed to Amy Lowry at 314-822-5815 or lowryag@kirkwoodmo.org.

BY ORDER OF: Joe Roeser, Secretary - Board of Adjustment Kirkwood, Missouri, October 22, 2021. The City of Kirkwood is interested in effective communication for all persons.

Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

12046977 County Oct 22, 2021

Stephen Pope

Stephen Pope

Subscribed & sworn before me this 22nd day of Oct, 2021
(SEAL)

Chanel Jones

Notary Public

CHANEL JONES
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Louis County
My Commission Expires: August 08, 2022
Commission Number: 14987721

CITY'S EXHIBIT NO. 4

PELIKAN ROBERT M & KATHRY...
411 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

MEYER DIANE E
870 LAWN CT
SAINT LOUIS, MO 63122

GEORGE MARY KIM
881 DEWBERRY CT
SAINT LOUIS, MO 63122

GREEN DUSTIN KNIGHT TRUST
407 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

SPRANG JASON M & AMY M H/...
870 WOOD AVE
SAINT LOUIS, MO 63122

LIM MAXWELL E & CHRISTINE T...
880 DEWBERRY CT
SAINT LOUIS, MO 63122

DESLOGE NANCY SOLOMON T...
862 WOOD AVE
SAINT LOUIS, MO 63122

LOEFFLER JOSH & ANDREA T/...
872 LAWN CT
SAINT LOUIS, MO 63122

BARDEN RUSSELL E
880 LAWN CT
SAINT LOUIS, MO 63122

LINENBROKER THOMAS SUSAN...
427 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

COUTTS ELSPETH A TRUST...
871 LAWN CT
SAINT LOUIS, MO 63122

NEPPEL JEFFREY & SARAH T/E
883 LAWN CT
SAINT LOUIS, MO 63122

TAYLOR CHARLES E III SALLY M...
423 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

SAPP STEPHEN R MARY A H/...
876 DEWBERRY CT
SAINT LOUIS, MO 63122

STEPHENS STEPHEN W
450 QUAN AVE
SAINT LOUIS, MO 63122

KOCHER BRADLEY AMY H/W
419 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

ZEITZ JOSEPH J & RITA GLENN ...
877 DEWBERRY CT
SAINT LOUIS, MO 63122

UNTERBERG TRISH L TRUSTE...
440 QUAN AVE
SAINT LOUIS, MO 63122

DONAHUE DAVID & RACHEL T/...
415 WOODVIEW MANOR LN
SAINT LOUIS, MO 63122

MEANS SUSAN
878 WOOD AVE
SAINT LOUIS, MO 63122

MALLORY LESLIE & JASON T/E
886 DEWBERRY CT
SAINT LOUIS, MO 63122

SPRANG JASON M AMY M H/...
870 WOOD AVE
SAINT LOUIS, MO 63122

FLYNN ROBERT F SR & BARBA...
876 LAWN CT
SAINT LOUIS, MO 63122

GULBRANDSEN LAURA
887 DEWBERRY CT
SAINT LOUIS, MO 63122

TOBLER KENNETH R & MELISS...
P.O. BOX 55
CHESTERFIELD, MO 63006

KERAN TERRENCE B & JUDITH ...
875 LAWN CT
SAINT LOUIS, MO 63122

LUETHY MEREDITH A & RYAN D...
412 QUAN AVE
SAINT LOUIS, MO 63122

HARLAN MATTHEW D
873 DEWBERRY CT
SAINT LOUIS, MO 63122

BROOKS HOLLY ELIZABETH
882 WOOD AVE
SAINT LOUIS, MO 63122

COLTER CAROL A
408 QUAN AVE
SAINT LOUIS, MO 63122

RACHMAN MIKIE D & KURNIAW...
886 WOOD AVE
SAINT LOUIS, MO 63122

COFFMAN JEFFREY M & CYNT...
922 OAK GLEN MANOR CT
SAINT LOUIS, MO 63122

NORVELL MARTHAMURRILL
902 WOOD AVE
SAINT LOUIS, MO 63122

GEETING JULIE MARIE
909 OAK GLEN MANOR CT
SAINT LOUIS, MO 63122

STONER MATTHEW H & LEIGH ...
906 WOOD AVE
SAINT LOUIS, MO 63122

STILLMAN KEVIN J ANN T H/W
901 OAK GLEN MANOR CT
SAINT LOUIS, MO 63122

BORELLA DAVID P & JOANN H/...
910 WOOD AVE
SAINT LOUIS, MO 63122

TAGGART VELVA CLEO TRUST...
427 QUAN AVE
SAINT LOUIS, MO 63122

LYN NATALIE WARD
459 QUAN AVE
SAINT LOUIS, MO 63122

SISTERS OF MERCY OF THE AM...
101 MERCY DR
BELMONT, NC 28012

RANDAZZO JOHN T ETAL J/T
431 QUAN AVE
SAINT LOUIS, MO 63122

WANN BEN & RACHEL H/W
435 QUAN AVE
SAINT LOUIS, MO 63122

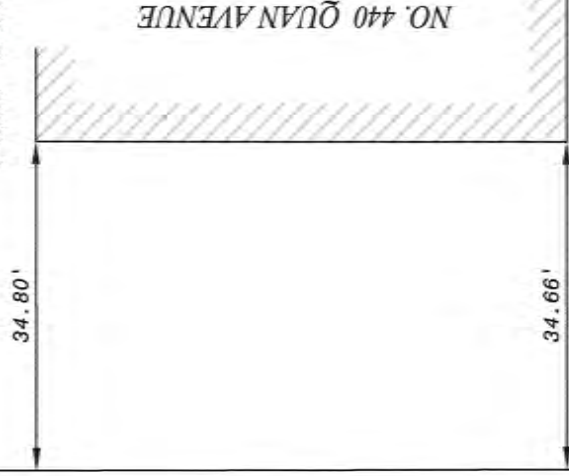
RUZICKA DANIEL R & KRISTIN ...
453 QUAN AVE
SAINT LOUIS, MO 63122

BLANNER JEFFREY J & TETER ...
447 QUAN AVE
SAINT LOUIS, MO 63122

CARROLL TIMOTHY & SARAH T...
120 E MADISON AVE
SAINT LOUIS, MO 63122

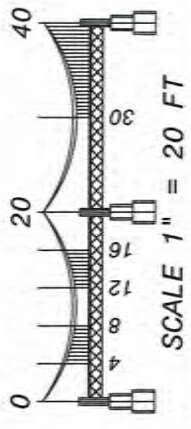
BOUNDARY AND IMPROVEMENT SURVEY

LOT 15 OF DEWBERRY COURT PLAT BOOK: 48 PAGE: 48 ST. LOUIS COUNTY, MO

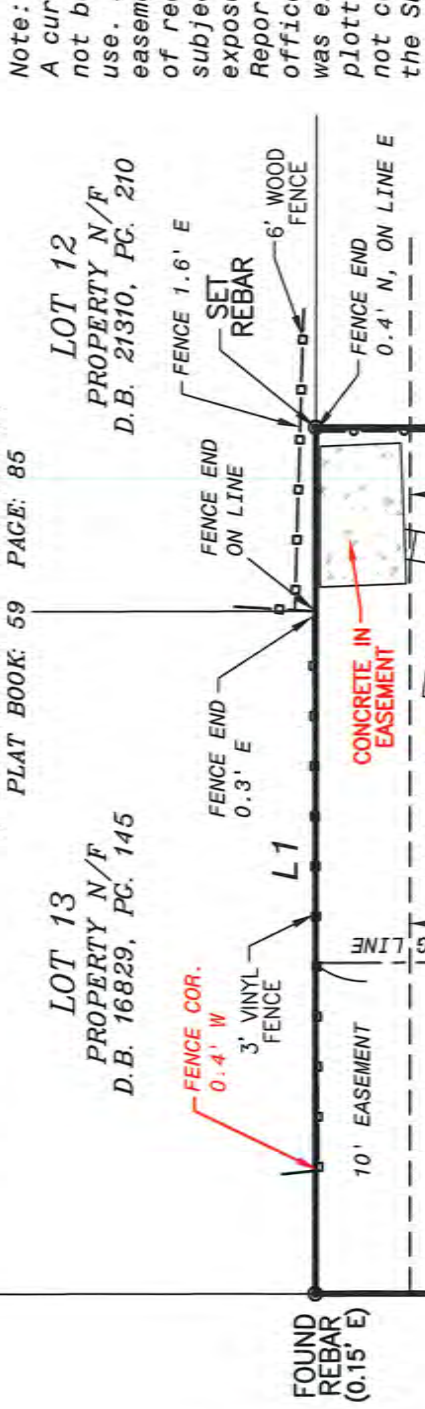


CITY'S EXHIBIT NO. 9

LINE TABLE		
LINE	LENGTH	BEARING
L1	91.67'	S 00°44'30" E
L2	90.52'	S 89°06'00" W



SOURCE OF RECORD DESCRIPTION:
DEED BOOK: 23306 PAGE: 72



- 1"=0.08'
- 2"=0.16'
- 3"=0.25'
- 4"=0.33'
- 5"=0.42'
- 6"=0.50'
- 7"=0.58'
- 8"=0.67'
- 9"=0.75'
- 10"=0.83'
- 11"=0.92'
- 12"=1.00'

ADDITIONAL MONUMENTATION FOUND:
-Adopted a Stone at the Northwestern corner of Lot 5 of Dewberry Court.

GENERAL NOTES:

I.P. = IRON PIPE I.R. = IRON ROD
(R) = RECORD (S) = SURVEYED (NR) = NON-RADIAL
SURVEYOR'S STATEMENT:

BASIS OF BEARING OR ANGLES:

DEWBERRY COURT
PLAT BOOK: 48 PAGE: 48

THIS IS TO CERTIFY TO JASON MALLORY, THAT AT YOUR REQUEST, MERIDIAN SURVEYING SERVICES LLC., HAS DURING THE MONTH OF SEPTEMBER, 2021, EXECUTED A RESURVEY OF LOT 15 OF DEWBERRY COURT, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 48, PAGE 48 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, TOGETHER WITH THE LOCATION OF IMPROVEMENTS THEREON, IMPROVEMENT OWNERSHIP IS BASED OFF OF FIELD OBSERVATIONS THAT HAVE NOT BEEN VERIFIED WITH PROPERTY OWNER(S), THE FENCE OWNERSHIP IS NOT IDENTIFIED, FENCE HEIGHTS INDICATED ARE APPROXIMATE, UNLESS OTHERWISE INDICATED, FENCES INTERSECTING PROPERTY LINE(S) ARE CONNECTIVE IN NATURE, AND THAT THE RESULTS OF SAID RESURVEY ARE SHOWN ON THE ABOVE PLAT. THIS RESURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR AN URBAN CLASS PROPERTY. PRIOR TO ANY CONSTRUCTION, THE ZONING AUTHORITY SHOULD BE CONSULTED TO VERIFY CURRENT RESTRICTIONS. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY AND THOSE NOTED ABOVE. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTES, AGENCIES, PARTIES, OR SUBSEQUENT OWNERS.

Meridian Surveying Services LLC (agent)

DATE: 09/27/2021



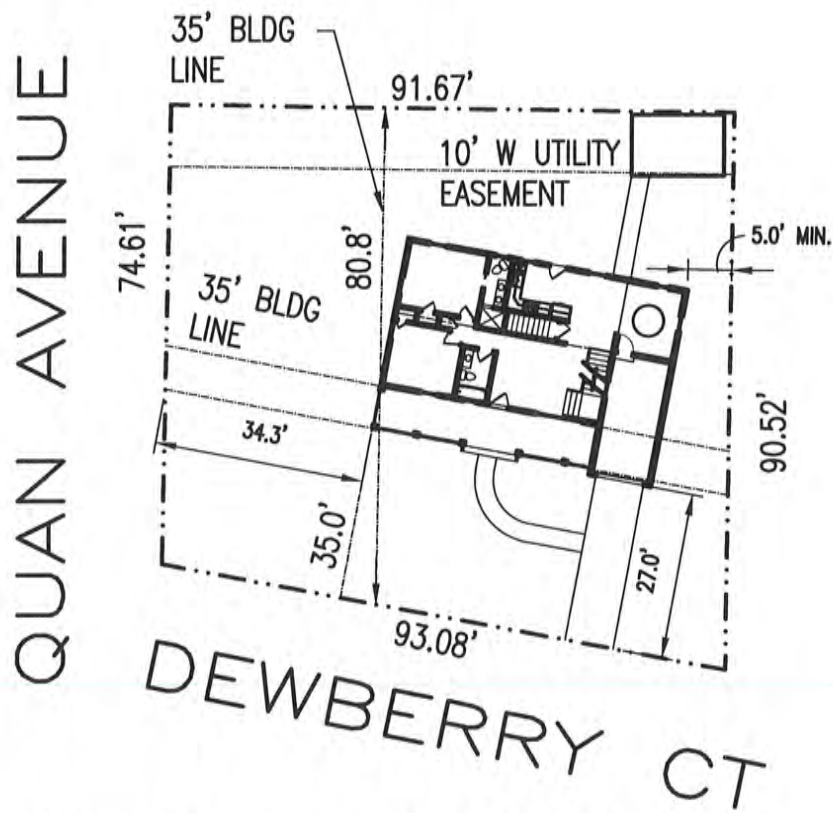
(agent) Lee C. Ferrenbach III
General Manager



MERIDIAN LAND SURVEYING
21 POINT WEST BLVD
ST. CHARLES, MO 63301
PHONE: 636-939-2900 FAX: 636-946-9099
WWW.MERIDIANLANDSURVEYING.COM
© 2021 MERIDIAN SURVEYING SERVICES, LLC
CORPORATE LICENSE NO. 2010021844

DRAFTER: AJ	REVIEWED BY: LCF	FIELD CREW: KAT/ALK
DATE: 09/27/2021	DRAWING NO: 01	PROJECT NO: 72346-R1

SHEET
1
OF 1



SECONDARY FRONT YARD SETBACK FROM DEWBERRY CT
 30% OF LOT WIDTH 80.8' = 24.24'



PROPOSED SITE PLAN
 SCALE: 1" = 30'-0"

10/11/2021

MALLORY RESIDENCE

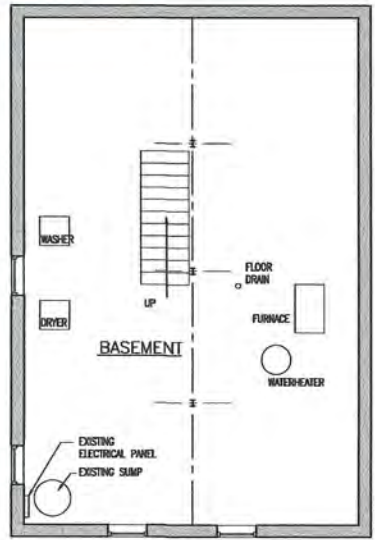
MICHAEL HOGAN, AIA
 ARCHITECT

886 DEWBERRY CT
 KIRKWOOD, MO. 63122

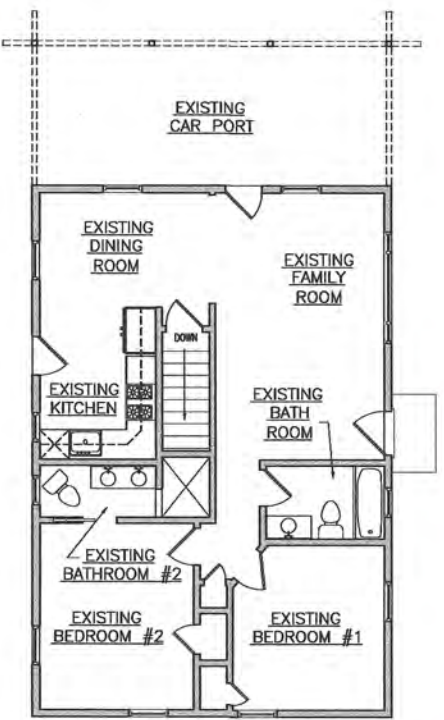
1038 DOVERGATE DR.
 KIRKWOOD, MISSOURI 63122
 314-614-9889



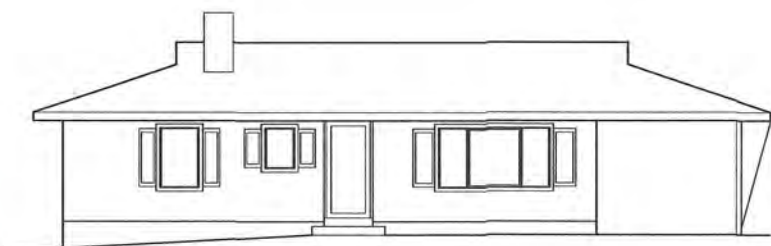
RECEIVED
OCT 11 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS



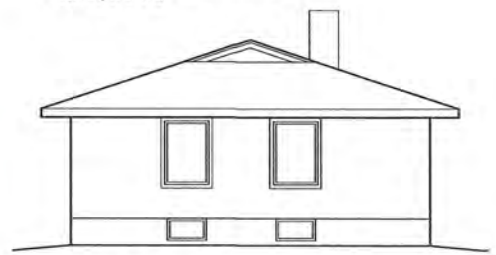
EXISTING LOWER LEVEL PLAN
 NORTH SCALE: 1/4" = 1'-0"



EXISTING GROUND FLOOR PLAN
 NORTH SCALE: 1/4" = 1'-0"



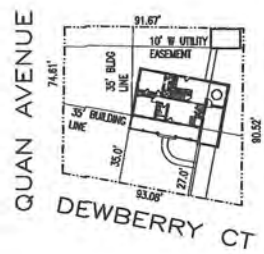
EXISTING FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



PROPERTY SURVEY
 NO SCALE



PROPOSED SITE PLAN
 NORTH SCALE: 1" = 30'-0"

AN ADDITION AND RENOVATION TO THE MALLORY RESIDENCE

886 DEWBERRY CT.
 ST. LOUIS, MO 63122

MICHAEL HOOGAN, AIA
 ARCHITECT
 1000 OXFORD
 ST. LOUIS, MO 63103
 314-614-9288
 NO EXCISE NUMBER 07947

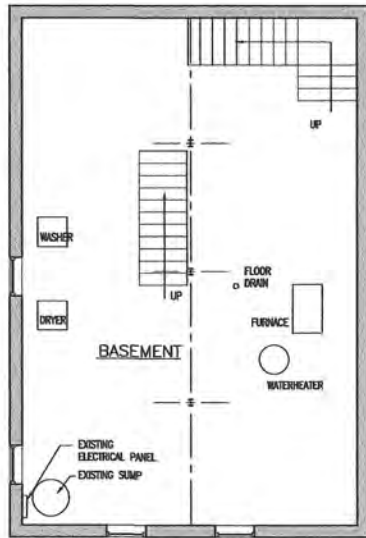
A RENOVATION AND ADDITION TO THE
 MALLORY RESIDENCE

886 DEWBERRY CT.
 ST. LOUIS, MO 63122

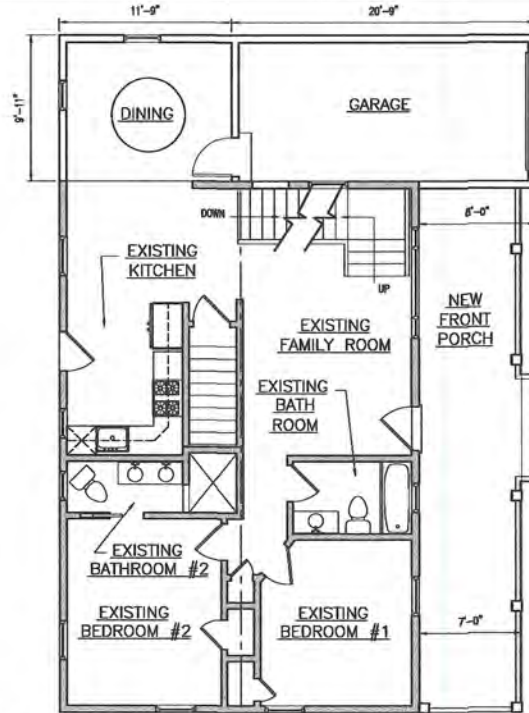
TITLE
 SITE PLAN, LOWER LEVEL
 & GROUND FLOOR PLAN,
 EXTERIOR ELEVATIONS

DATE
 OCTOBER 9, 2021

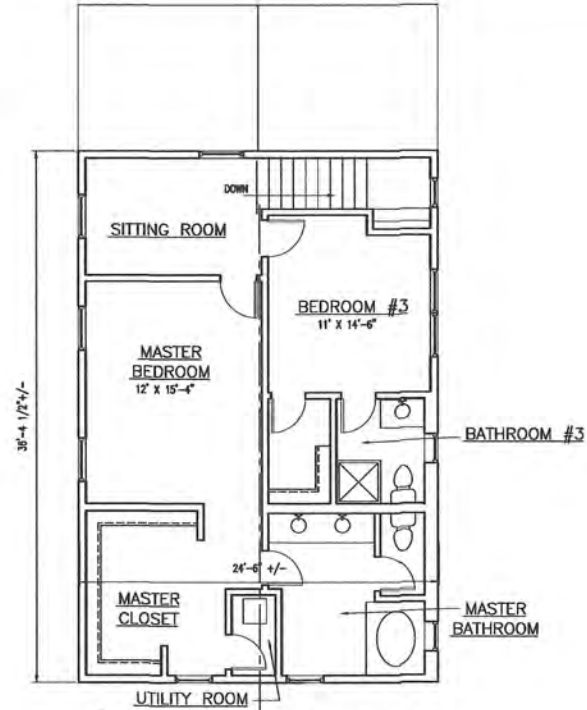
SHEET
 A100



PROPOSED LOWER LEVEL PLAN
 NORTH SCALE: 1/4" = 1'-0"



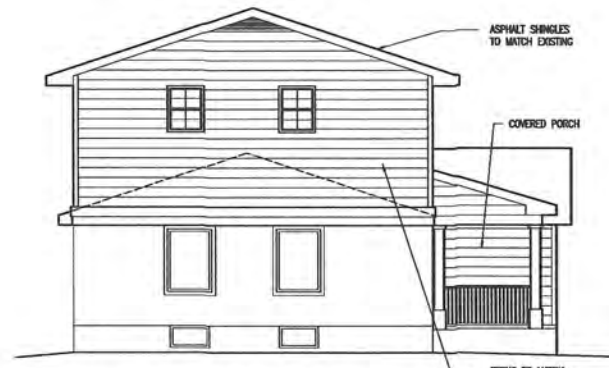
PROPOSED GROUND FLOOR PLAN
 NORTH SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
 NORTH SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

MICHAEL HOOGAN, AIA
 ARCHITECT
 1028 DORCHESTER
 BENTON, MISSOURI
 314-814-9998
 MO LICENSE NUMBER 027947

A RENOVATION AND ADDITION TO THE
 MALLORY RESIDENCE

886 DEWBERRY CT.
 ST. LOUIS, MO 63122

TITLE
 LOWER LEVEL, GROUND
 FLOOR, SECOND FLOOR
 PLAN, EXT. ELEVATIONS

DATE
 OCTOBER 9, 2021

SHEET

A101

886 Dewberry Ct - W side (Dewberry) facade



886 Dewberry Ct - E side facade



886 Dewberry Ct - N side (Quan) facade



886 Dewberry Ct - S side setback



RECEIVED
OCT 11 2021
CITY OF
PUBLIC



886 Dewberry Ct - Gutter/eaves damage SW corner



Pillar damage SW corner

886 Dewberry Ct - Gutter/eaves damage E side of carport



886 Dewberry Ct - Gutter/eaves damage SE corner



Case Summary

Case Number		28-2021			
Zoning District		R-4			
Project Address		302 George Avenue			
Applicant Name		Steve Hayes, Halo Holdings			
Property Owner		same			
Article	VI	Section	25-48	Sub-Section	25-48(b)(2)(ii) & Table 48-3
Variance Request		Front yard setback for new single-family residence			
Required		68.10'			
Proposed		52.80'			
Variance		15.30'			
Article	VI	Section	25-48	Sub-Section	25-48(c)(3)(i)(b)
Variance Request		Finished first floor height for new single family residence			
Required		577.37' (575.33 spot grade elevation + 2.04)			
Proposed		585.85'			
Variance Requested		8.48'			

History of address: There has never been a house built on this site.

Summary Approved by: AGL

Labels printed _____

Letter mailed on _____

300 ft. notice mailed on _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122

***An appointment with staff is required** prior to the submittal of a variance application to assist in preparing your submittal information. Please contact Amy Lowry, Planner II at 314-822-5815 to schedule an appointment.

Action Requested:

- Variance of Zoning Code**
 - \$240 non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools
 - \$500 non-refundable filing fee for all others not listed above,
 - \$50 fee for each additional variance request on the same application.
- Variance of Fence Code** - \$200 non-refundable filing fee (per Code §5-45(c))
- Appeal the decision of the Building Commissioner** - \$240 non-refundable filing fee
- Appeal the interpretation of the Zoning Code** - \$500 non-refundable filing fee

Project Address 302 George Avenue

Type of Work: New Construction Addition Other _____

Type of Structure: Single-family Multi-family Commercial Accessory
 Other _____

Has a previous variance application been filed on these premises within the last three (3) years?
 Yes No *If yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name Steve Hayes / Halo Holdings LLC Phone 314-224-6656

Address 3726 Gumtree Ln

City/State/Zip St. Louis MO 63129 E-mail Steve@iconicstl.com

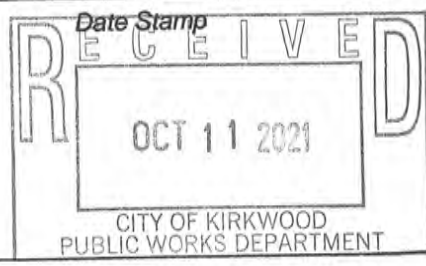
Applicants Signature [Signature] Date 9/21/2021

Property Owner Information (if different from above):
Name _____ Phone _____

Address _____

City/State/Zip _____ E-mail _____

City Use Only
Meeting Date: Nov. 8, 2021
Case #: 28-2021
Zoning District: R-4
Received by: Samara



CITY'S EXHIBIT NO. 1



122 North Kirkwood Road
 Kirkwood, MO 63122-4302
 T: (314) 965-wind



October 11, 2021

To: City of Kirkwood
 Board of Adjustment (BOA)

Re: Variance request(s) 302 George Avenue

Dear Members of the BOA:

On behalf of Halo Holdings, LLC we respectfully request the Board grant FFFH and front setback variances as detailed on the plans that accompany this submittal.

FFFH:

The elevation of the proposed house was developed to respect MSD criteria with regard to its vertical relationship to the 100-year backwater elevation created at the entrance to a box culvert beneath the railroad.
 Required FFFH: 2.04' , elevation=577.37'
 Requested FFFH: 10.52' , elevation=585.85'
 Variance needed: 8.48'

Front setback:

The existing homes to the south along George Avenue (no homes to north, street ends at Union Pacific Railroad) were logically setback from George to adapt to a prior open drainageway that c. mid-1990's MSD enclosed in a box culvert. Subsequently calculating a setback for the subject lot, when considering the pro elevation of the home per MSD criteria, results in the structure being positioned off George to an extent that necessary drainage patterns toward the north would be compromised due to existing grades in the rear and alongside the lot. It is noted the proposed setback (52.8') is consistent with that as exists on the adjoining home at 308 George, is ~18 ft greater than the setback of 35 ft for the R4 zoning district, and matches a separate, concurrent request for 304 George. Is further noted that for every 4 feet foot the home is positioned more toward George Avenue, the setback from the existing railroad tracks is increased by one foot, any increase hopefully being viewed as positive.
 Required front yard setback: 68.1'
 Requested front yard setback: 52.8'
 Variance needed: 15.3'

Attached to this letter is a copy of the Narrative and Activity Table as included with the drawings.

Acknowledging the basis for our request may be somewhat out of the ordinary when compared to other requests you may receive, we look forward to explaining our findings and rationale in more detail at the upcoming BOA meeting.

Thank you.

Wind Engineering Company

Daniel C. Wind, Jr., P.E.
dwind@windengr.com

c: Steve Hayes, Halo Holdings, LLC

NARRATIVE 302 GEORGE AVENUE

PRIOR TO MSD'S ENCLOSING A CREEK THAT RAN +/- PARALLEL ALONGSIDE AND EAST OF GEORGE AVENUE, THE HOMES THAT WERE CONSTRUCTED EAST OF GEORGE WERE SITUATED AWAY FROM THE CREEK CHANNEL AND ELEVATED SOME AMOUNT ABOVE THE LOW AREA TO RESPECT THE CHANNEL PROPER AND THE SPREAD OF WATER DURING HEAVY RAIN EVENTS. IT IS NOTED THE TRIBUTARY DRAINAGE AREA AT THIS LOCATION GENERALLY EXTENDS SOUTH TO ROSE HILL AT MERAMEC C.C., EAST TO GEYER, AND WEST TO COUCH AVENUE AT ABERDEEN HEIGHTS, AND IS APPROX 135 ACRES IN SIZE. THE DRIVEWAYS SERVING THESE HOMES HAD VARIOUS BRIDGES AND CULVERTS TO CROSS THE CREEK. MSD'S WORK IN THE MID-1990'S ENCLOSED THE CHANNEL WITH AN 8' X 4' BOX CULVERT AND FILLED THE LOW AREAS ~ 5 AND 8 FEET. IT IS REASONABLE TO EXPECT THAT HAD THE MSD WORK BEEN IN PLACE PRIOR TO THE HOMES BEING CONSTRUCTED (*THOSE HOMES THAT EXISTED AT THE TIME OF THE MSD IMPROVEMENTS*), THE X-Y-Z LOCATION OF THE HOMES WOULD HAVE BEEN DIFFERENT, I.E. THE CONTROLS IMPOSED BY THE OPEN CHANNEL WERE NOT A CONCERN. IS NOTED THAT #320 GEORGE WAS BUILT POST-MSD WORK (PER COUNTY RECORDS, **SEE TABLE BELOW**, THE HORIZONTAL LOCATION RESPECTED THE R-4 ZONING SETBACK), AND THE ELEVATION WAS ADAPTED TO RESPECT THE LOT-SPECIFIC TOPOGRAPHY (THE REAR OF THE HOUSE IS ~ 10 FT ABOVE GEORGE AVENUE, A "SPLIT FOYER" TYPE HOME BUILT LIKELY TO ATTAIN REASONABLE GRADE ON DRIVEWAY).

DUE TO LIMITATIONS ON THE SIZE OF THE TRIBUTARY UPSTREAM DRAINAGE AREA, FEMA'S DETAILED FLOOD STUDIES (THAT DEVELOP/RESULT IN "REGULATORY" BASE FLOOD ELEVATIONS) WERE STOPPED AT THE NORTH SIDE OF THE UNION PACIFIC RAILROAD RIGHT OF WAY. HOWEVER IT IS NOTED THAT ANY CHANNEL OR DRAINAGE SYSTEM, REGARDLESS OF THE SIZE OF THE TRIBUTARY DRAINAGE AREA, WILL HAVE A 100-YEAR HIGHWATER ELEVATION. FEMA GENERALLY STOPS THEIR DETAILED STUDIES, AGAIN FOR REGULATORY (INSURANCE) PURPOSES, WHEN THE DRAINAGE AREA FALLS BELOW 1 SQUARE MILE (640 AC) OR BELOW A CERTAIN DEPTH OF FLOW.

THE MSD CULVERT MENTIONED ABOVE DISCHARGES TO AN EXISTING CULVERT THAT CROSSES BENEATH THE UNION PACIFIC RAILROAD TO THE NORTH. HYDRAULIC STUDIES INDICATE THE 100-YEAR HIGHWATER AT THE ENTRANCE (SOUTH SIDE) TO THIS CULVERT CREATES A BACKWATER ELEVATION OF ~ 575.

THE REQUESTED VARIANCES TO REALIZE PROPOSED ELEVATIONS AND SETBACKS FOR SUBJECT PROPERTY **302 GEORGE** WERE DEVELOPED AROUND THE CURRENT IN-PLACE CONDITIONS (CREEK CHANNEL NOW ENCLOSED, MSD EASEMENT IN PLACE), ELEVATIONS AT THE REAR OF THE PROPERTIES. AND RESPECT MSD'S CRITERIA FOR BASEMENT FLOOR AND LOW SILL (LOW OPENING) ELEVATIONS VS. THE CALCULATED 100 YEAR HIGHWATER.

IT IS FURTHER NOTED THE PROPOSED SETBACKS AND BASEMENT ELEVATIONS ARE RELATIVELY CONSISTENT WITH THAT AS NOW EXISTS FOR THE TWO (2) HOMES IMMEDIATELY TO THE SOUTH, # 308 AND # 312 GEORGE AVENUE, MATCH THE CONCURRENT REQUEST FOR 304 GEORGE, AND THAT NO NEW HOMES ARE EXPECTED TO BE BUILT FARTHER NORTH DUE TO THE RAILROAD (GEORGE AVE DOES NOT CONTINUE NORTH) AND THE GEOMETRY OF REMAINING (INCL PT REMNANT) PARCEL (EXTENSION OF 291 GEORGE FROM THE WEST.)

YEAR	ACTIVITY (PER AVAIL RECORDS)	SETBACK
1961	HOUSE CONSTRUCTED #308 GEORGE	52.8
1963	HOUSE CONSTRUCTED #312 GEORGE	51.4
1978	HOUSE CONSTRUCTED #318 GEORGE	100.1
MID 1990'S	MSD IMPROVEMENTS	
2000	HOUSE CONSTRUCTED #320 GEORGE	35.4
2021	PROPOSED SETBACK #302 GEORGE	52.8



WHERE COMMUNITY AND SPIRIT MEET®

October 25, 2021

Steve Hayes
Halo Holdings, LLC
3726 Gumtree Ln.
St Louis, MO 63129

Sent via email to: steve@iconicstl.com

RE: Variance Requests
Case No. 28-2021
302 George Avenue
Zoning District R-4

Dear Mr. Hayes:

Your variance request from the Kirkwood Board of Adjustment has been set for Public Hearing on November 8, 2021, at 7:00 p.m. **This meeting will be in person at Kirkwood City Hall.** The Board of Adjustment is a duly constituted body with certain powers to grant a variance, which will permit a deviation from fixed standards, when the applicant can demonstrate to the Board that the standards set forth below will result in a practical difficulty. These powers are set forth in Article II, Section 25-24 of the Zoning and Subdivision Code of the City of Kirkwood; please refer to that section for any further information as to the powers of the Board as they apply to your variance.

You or your representative shall, at the time and place above, present all evidence that may have a bearing upon this case and that you believe to be relevant. This may include oral testimony under oath as well as the introduction of any documents or other records that you believe to be related to the proceedings. The burden of proof lies with the applicant. All proceedings before the Board are formal in that all testimony is under oath and a court reporter will make a verbatim transcript of all matters that are presented before the Board.

Article VI, Section 25-48, Sub-section 25-48(b)(2)(ii) & Table 48-3 of the Zoning and Subdivision Code requires that the front yard setback be determined by averaging the front yard setbacks of every improved lot within 200 feet. In this particular instance, a front rear yard setback of 68.1 feet is required. The new single-family residence you wish to construct will provide a front yard setback of 52.8 feet. This is 15.3 feet closer to the front property line than the Zoning and Subdivision Code allows.

Article VI, Section 25-48, Sub-Section 25-48(c)(3)(i)(b) of the Zoning Code requires that the finished first floor height be determined by averaging the existing finished first floor

heights of every improved lot within 200 feet. In this particular instance, a finished first floor height of 577.37 feet is required. The new single family residence you wish to construct will provide a finished first floor height of 585.85 feet. This is 8.48 feet higher than the Zoning Code allows.

Article II, Section 25-24(c)(1) of the Zoning and Subdivision Code allows the Board of Adjustment to consider the following factors to determine whether a practical difficulty exists that would justify approval of an area or dimensional variance:

- (i) Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions;
- (ii) Whether the variance is not substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- (iii) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- (iv) Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- (v) Whether the property owner's request can be obviated through some method other than a variance;
- (vi) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance; and
- (vii) Whether a strict interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this code.

I have attached the agenda for the meeting. Please contact me if you have any questions with regard to this matter before the public hearing.

Sincerely,

CITY OF KIRKWOOD



Amy Gillis Lowry, AICP
Planner II

Encl. Meeting Agenda

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Stephen Pope** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **October 22, 2021** edition and ending with the **October 22, 2021** edition, for a total of 1 publications:

10/22/2021

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT

CITY OF KIRKWOOD, MISSOURI

The Board of Adjustment of the City of Kirkwood will hold a Public Hearing in the City Hall Council Chambers, 139 S. Kirkwood Road, on November 8, 2021, at 7:00 P.M. to consider the following:

New Business

Case No. 26-2021 - 429 Miriam Ave.
- rear yard setback variance for an addition.

Case No. 27-2021 - 886 Dewberry Ct. - rear yard set back variance for an addition.

Case No. 28-2021 - 302 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 29-2021 - 304 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 30-2021 - 1231 Simmons Ave. - front yard encroachment variance for a porch

Such hearing may be adjourned from time to time until completed.

Questions may be directed to Amy Lowry at 314-822-5815 or lowryag@kirkwoodmo.org.

BY ORDER OF: Joe Roeser, Secretary - Board of Adjustment Kirkwood, Missouri, October 22, 2021. The City of Kirkwood is interested in effective communication for all persons.

Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

12046977 County Oct 22, 2021

Stephen Pope

Stephen Pope

Subscribed & sworn before me this 22nd day of Oct, 2021
(SEAL)

Chanel Jones

Notary Public

CHANEL JONES
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Louis County
My Commission Expires: August 06, 2022
Commission Number: 14287721

CITY'S EXHIBIT NO. 4

KORNU KIMBELL & ERIN H/W
 320 GEORGE AVE
 SAINT LOUIS, MO 63122

HANSON LOUIS G TRUSTEE
 3007 ST MARYS LOOP
 VILLA RIDGE, MO 63089

STECK ANDREW BRENTON & M...
 304 CAROLINE AVE
 SAINT LOUIS, MO 63122

HARRES MICHAEL AND DEBRA ...
 629 NIRK AVE
 SAINT LOUIS, MO 63122

DECLUE JOHN P & CAMELA D T...
 703 NIRK AVE
 SAINT LOUIS, MO 63122

ANGERS KERRY
 308 CAROLINE AVE
 SAINT LOUIS, MO 63122

RICKS THOMAS H
 1600 S DOUGLASS RD
 ANAHEIM, CA 92806

ASSESSOR INFORMATION WIT...
 705 NIRK AVE
 SAINT LOUIS, MO 63122

MBK TRUST
 322 CAROLINE AVE
 SAINT LOUIS, MO 63122

BRIARCLIFF HOMES INC
 PO BOX 0544
 FENTON, MO 63026

ABOUNADER JASON
 318 GEORGE AVE
 SAINT LOUIS, MO 63122

GOTTSCHALK JEFF & APRIL K ...
 324 CAROLINE AVE
 SAINT LOUIS, MO 63122

KELLOGG ADAM
 598 W MONROE AVE
 SAINT LOUIS, MO 63122

ASSESSOR INFORMATION WIT...
 427 W WOODBINE AVE
 SAINT LOUIS, MO 63122

RICE BLANCHE EVELYN
 333 GEORGE AVE
 SAINT LOUIS, MO 63122

NIEBURG CHRISTOPHER S & A...
 627 NIRK AVE
 SAINT LOUIS, MO 63122

S&L REAL ESTATE L L C
 340 W JEFFERSON AVE
 SAINT LOUIS, MO 63122

BRUGGER JEREMIAH A & NATA...
 3876 BARQUE CT
 NAPLES, FL 34120

PICKETT JEREMY P & JESSICA ...
 596 W MONROE AVE
 SAINT LOUIS, MO 63122

BRIARCLIFF HOMES INC
 PO BOX 0544
 FENTON, MO 63026

SCHINZING PROPERTIES 307 L...
 654 N KIRKWOOD RD
 SAINT LOUIS, MO 63122

KIRKWOOD PARK LLC
 588 W MONROE AVE
 SAINT LOUIS, MO 63122

KIRKWOOD CITY OF MISSOURI...
 139 S KIRKWOOD RD
 SAINT LOUIS, MO 63122

PAUL CARL H ODILIA G HWF
 319 GEORGE AVE
 SAINT LOUIS, MO 63122

LAWTON ROBERT C
 582 W MONROE AVE
 SAINT LOUIS, MO 63122

ASSESSOR INFORMATION WIT...
 290 CAROLINE AVE
 SAINT LOUIS, MO 63122

HIRSCH RYAN B & SARAH B T/E
 303 GEORGE AVE
 SAINT LOUIS, MO 63122

CRETS RYAN D & KATHERINE E...
 286 CAROLINE AVE
 SAINT LOUIS, MO 63122

CRIPPS BARBARA
 300 CAROLINE AVE
 SAINT LOUIS, MO 63122

POE PROPERTIES LLC
 822 WAYFARER DR
 BALLWIN, MO 63021

RRJ LLC
2 TIFFANY LYNN CRES
WENTZVILLE, MO 63385

HARVEY ROBERT J & HEATHER...
291 GEORGE AVE
SAINT LOUIS, MO 63122

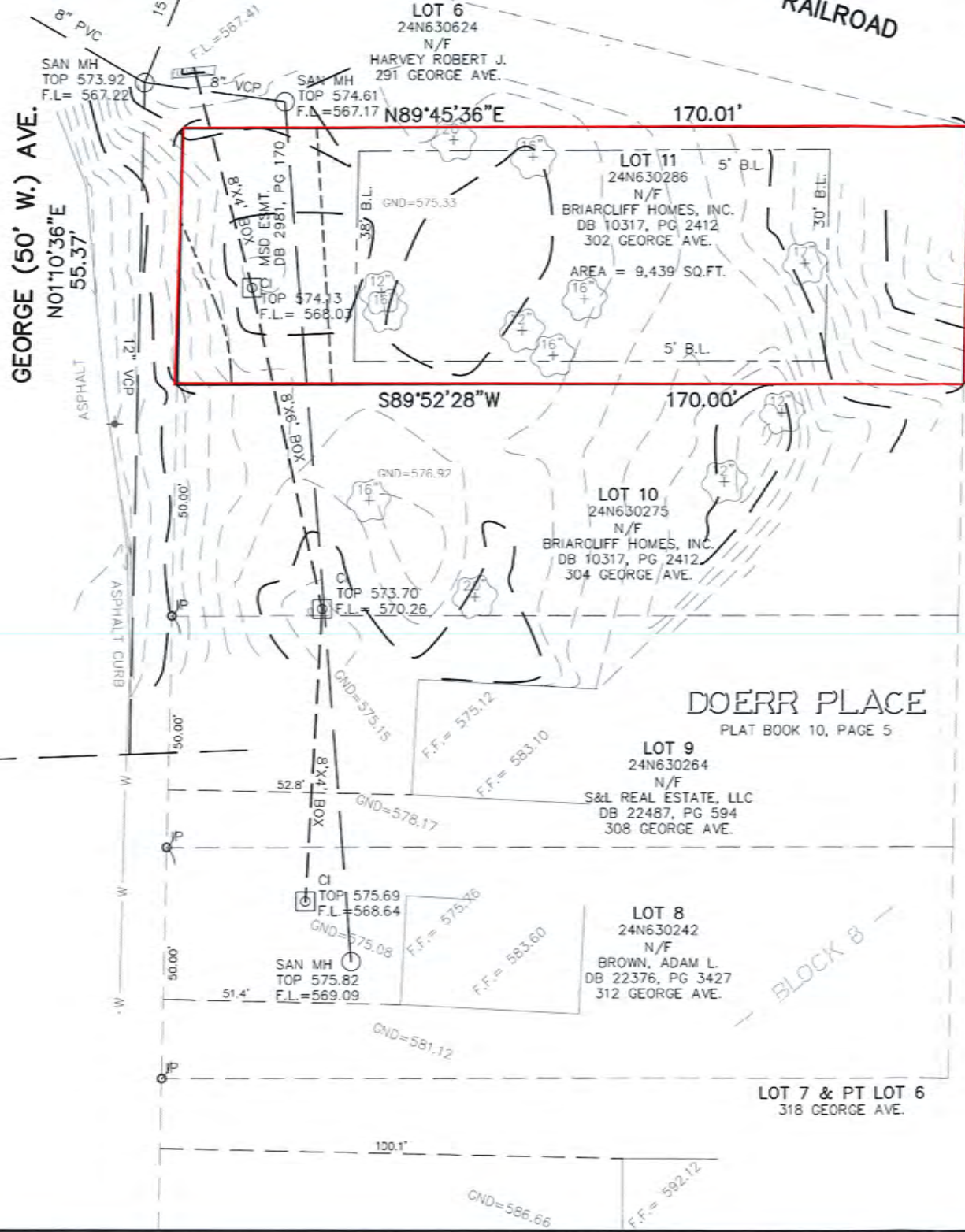
CARO PARK
PLAT BOOK 301, PAGE 12

BOUNDARY SURVEY

LOT 11 IN BLOCK 8 OF DOERR PLACE
SECTION 2, TOWNSHIP 44 NORTH, RANGE 5 EAST
ST. LOUIS COUNTY, MISSOURI



GEORGE (50' W.) AVE.
N01°10'36"E
55.37'

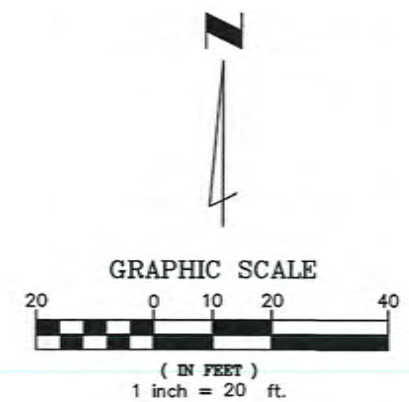


LEGEND

- IP DENOTES FOUND IRON ROD UNLESS NOTED OTHERWISE
- SET IR SET 5/8" IRON ROD WITH CAP
- - - -582- - - EX. CONTOURS (1')
- - - -575- - - EX. CONTOURS (5')

ROSE HILL
BY STEEN
PLAT BOOK 3, PAGE 59

PRT. LOT 1
24N630660
N/F
HANSON, LOUIS G.
DB 15946, PG 1061
701 NIRK AVE.



DOERR PLACE
PLAT BOOK 10, PAGE 5

Surveyor's Notes

1. This Property Boundary Survey was prepared without the benefit of a title report, easements that may be indicated in the Schedule B II section of the report have not been shown.
2. Basis of bearings - Survey bearing system was adopted from "Doerr Place" according to the plat thereof recorded in Plat Book 10, Page 5, St. Louis County Recorder's Office.
3. Source of Record Title: Lot 11 in Block 8 of Doerr Place, according to the plat thereof recorded in Plat Book 10, Page 5, St. Louis County Recorder's Office, conveyed to Briarcliff Homes, Inc. by a Deed recorded in Deed Book 10317, Page 2412 of the St. Louis County Recorder's Office.

Surveyor's Certificate

This is to certify that we have during the month of July, 2021, at the request of Steve Hayes, performed an Urban Property Boundary Survey of Lot 11 in Block 8 of Doerr Place, St. Louis County, Missouri, as shown hereon. The results of said survey is, to the best of my knowledge and belief, correctly represented on the above plat and was performed in accordance with the current requirements of the Missouri Standards for Property Boundary Surveys as set forth by the Missouri Department of Agriculture, Division of Land Survey, as adopted by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects.

IN WITNESS WHEREOF, I have signed and sealed the foregoing this 4th day of October, 2021.

DES Land Surveying, LLC
LS#2012000030
2612 Cynthia Ct.
Farmington, Mo. 63640
(636)-208-8511

By: Donald E. Simms
Donald E. Simms PLS
Missouri Land Surveyor #2005019218

CITY'S EXHIBIT NO. 6

UNDERGROUND UTILITY NOTE
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

BOUNDARY SURVEY
302 GEORGE AVENUE

No.	DATE	REVISIONS DESCRIPTION	DRAWN	CHECKED

PREPARED FOR
Steve Hayes
Holo Holdings, LLC



DES Land Surveying, LLC
LS#2012000030
2612 Cynthia Ct.
Farmington, Mo. 63640
Cell: (636) 208-8511
des_land@yahoo.com

DRAWN BY
DES

CHECKED BY
DES

PN # 2021125
10/04/2021

C2.1

LOT 5 & PT LOT 6
320 GEORGE AVE.

SITE PLANS

TO ACCOMPANY A

REQUEST TO THE BOARD OF ADJUSTMENT

FOR SELECT VARIANCES AT

302 GEORGE AVE

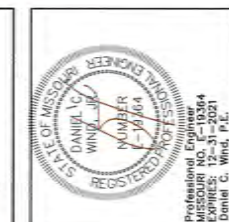
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO 63122

PERTINENT DATA

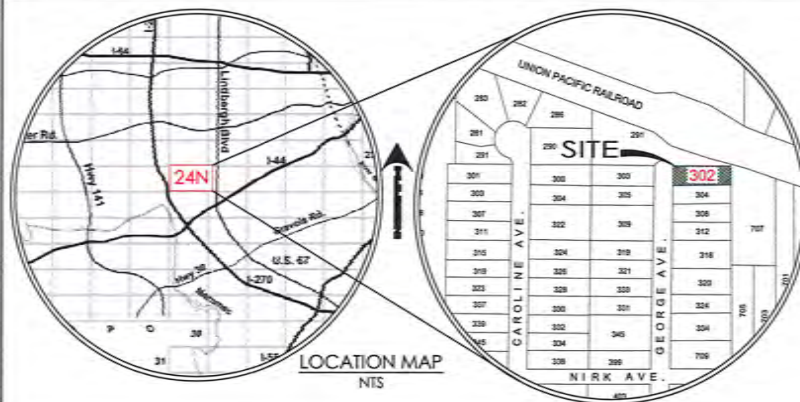
SITE ADDRESS : 302 GEORGE AVE
 TOTAL AREA OF TRACT : 0.22 AC
 LOCATOR NUMBER : 24N630286
 ZIP CODE : 63122
 WUNNENBERG : U25-34
 FIRE DISTRICT : KIRKWOOD
 SCHOOL DISTRICT : KIRKWOOD
 MUNICIPALITY : KIRKWOOD
 SEWER DISTRICT : MSD
 RECORD OWNERS OF TRACT : HALO HOLDINGS LLC
 WATERSHED : SUGAR CREEK/GRAND GLAIZE/
 MERAMEC RIVER
 FIRM PANEL : 2918PC0308K
 ZONING : R4

INDEX OF SHEETS

SHEET	DESCRIPTION
C1	TITLE SHEET
C2.1-2	SURVEYS (BY OTHERS)
C3.1-2	EXISTING CONDITIONS AND LIMITS HWEL
C4.1-3	WATERSHED STUDY, 100-YEAR HWEL CALC., MSD PRIOR PLANS, FEMA/SEMA INFO
C5.1-2	XLS TABLES FFFH VS SETBACKS, VARIANCES
C6	PROPOSED SITE PLAN (COMBINED BOTH LOTS)



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.



LEGAL DESCRIPTION

LOT 11 IN BLOCK 8 OF DOERR PLACE SECTION 2, TOWNSHIP 24 NORTH, RANGE 5 EAST, ST. LOUIS COUNTY, MO

SOURCE OF BOUNDARY AND TOPOGRAPHIC INFORMATION

BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY DES LAND SURVEYING.
 ADDITIONAL INFORMATION FROM AVAILABLE RECORDS AND SITE RECONNAISSANCE.

BENCHMARK

PROJECT BENCHMARK: TOP OF HEADWALL FOR MSD STRUCTURE 24N2-219D, ELEVATION=572.45'

NARRATIVE

PRIOR TO MSD'S ENCLOSING A CREEK THAT RAN 4'-PARALLEL ALONGSIDE AND EAST OF GEORGE AVENUE. THE HOMES THAT WERE CONSTRUCTED EAST OF GEORGE WERE SITUATED AWAY FROM THE CREEK CHANNEL AND ELEVATED SOME AMOUNT ABOVE THE LOW AREA TO RESPECT THE CHANNEL. PROPER AND THE SPREAD OF WATER DURING HEAVY RAIN EVENTS. IT IS NOTED THE TRIBUTARY DRAINAGE AREA AT THIS LOCATION GENERALLY EXTENDS SOUTH TO ROSE HILL AT MERAMEC, C.C., EAST TO GEYER, AND WEST TO COUCH AVENUE AT ABERDEEN HEIGHTS, AND IS APPROX 135 ACRES IN SIZE. THE DRIVEWAYS SERVING THESE HOMES HAD VARIOUS BRIDGES AND CULVERTS TO CROSS THE CREEK. MSD'S WORK IN THE MID-1990'S ENCLOSED THE CHANNEL WITH AN 8' X 4' BOX CULVERT AND FILLED THE LOW AREAS - 5 AND 8 FEET. IT IS REASONABLE TO EXPECT THAT HAD THE MSD WORK BEEN IN PLACE PRIOR TO THE HOMES BEING CONSTRUCTED (THOSE HOMES THAT EXISTED AT THE TIME OF THE MSD IMPROVEMENTS), THE X-Y-Z LOCATION OF THE HOMES WOULD HAVE BEEN DIFFERENT, I.E. THE CONTROLS IMPOSED BY THE OPEN CHANNEL, WERE NOT A CONCERN. IS NOTED THAT #320 GEORGE WAS BUILT POST-MSD WORK (PER COUNTY RECORDS, SEE TABLE BELOW). THE HORIZONTAL LOCATION RESPECTED THE R-4 ZONING SETBACK, AND THE ELEVATION WAS ADAPTED TO RESPECT THE LOT-SPECIFIC TOPOGRAPHY (THE REAR OF THE HOUSE IS ~ 10 FT ABOVE GEORGE AVENUE, A "SPLIT FOYER" TYPE HOME BUILT LIKELY TO ATTAIN REASONABLE GRADE ON DRIVEWAY).

DUE TO LIMITATIONS ON THE SIZE OF THE TRIBUTARY UPSTREAM DRAINAGE AREA, FEMA'S DETAILED FLOOD STUDIES (THAT DEVELOP/RESULT IN "REGULATORY" BASE FLOOD ELEVATIONS) WERE STOPPED AT THE NORTH SIDE OF THE UNION PACIFIC RAILROAD RIGHT OF WAY. HOWEVER IT IS NOTED THAT ANY CHANNEL OR DRAINAGE SYSTEM, REGARDLESS OF THE SIZE OF THE TRIBUTARY DRAINAGE AREA, WILL HAVE A 100-YEAR HIGHWATER ELEVATION. FEMA GENERALLY STOPS THEIR DETAILED STUDIES, AGAIN FOR REGULATORY (INSURANCE) PURPOSES, WHEN THE DRAINAGE AREA FALLS BELOW 1 SQUARE MILE (40 AC) OR BELOW A CERTAIN DEPTH OF FLOW.

THE MSD CULVERT MENTIONED ABOVE DISCHARGES TO AN EXISTING CULVERT THAT CROSSES BENEATH THE UNION PACIFIC RAILROAD TO THE NORTH. HYDRAULIC STUDIES INDICATE THE 100-YEAR HIGHWATER AT THE ENTRANCE (SOUTH SIDE) TO THIS CULVERT CREATES A BACKWATER ELEVATION OF ~ 575.

THE REQUESTED VARIANCES TO REALIZE PROPOSED ELEVATIONS AND SETBACKS FOR SUBJECT PROPERTY 302 GEORGE WERE DEVELOPED AROUND THE CURRENT IN-PLACE CONDITIONS (CREEK CHANNEL NOW ENCLOSED, MSD EASEMENT IN PLACE). ELEVATIONS AT THE REAR OF THE PROPERTIES, AND RESPECT MSD'S CRITERIA FOR BASEMENT FLOOR AND LOW SILL (LOW OPENING) ELEVATIONS VS. THE CALCULATED 100 YEAR HIGHWATER.

IT IS FURTHER NOTED THE PROPOSED SETBACKS AND BASEMENT ELEVATIONS ARE RELATIVELY CONSISTENT WITH THAT AS NOW EXISTS FOR THE TWO (2) HOMES IMMEDIATELY TO THE SOUTH, # 308 AND # 312 GEORGE AVENUE. MATCH THE CONCURRENT REQUEST FOR 304 GEORGE, AND THAT NO NEW HOMES ARE EXPECTED TO BE BUILT FURTHER NORTH DUE TO THE RAILROAD (GEORGE AVE DOES NOT CONTINUE NORTH) AND THE GEOMETRY OF REMAINING (INCL PT REMNANT) PARCEL (EXTENSION OF 291 GEORGE FROM THE WEST.)

UTILITIES/SERVICE PROVIDERS

CABLE TV
 CHARTER COMMUNICATIONS
 941 CHARTER COMMONS
 TOWNSHIP AND COUNTY, MO 63117
 PHONE: 636.222.2174

ELECTRIC
 KIRKWOOD ELECTRIC COMPANY
 212 S. TAYLOR AVE
 KIRKWOOD, MO 63122
 PHONE: 314.822.5842

SEWER
 MSD
 2330 MARKET STREET
 ST. LOUIS, MO 63103
 PHONE: 314.768.6300

GAS
 SPIRE INC
 720 OLIVE STREET
 ST. LOUIS, MO 63101
 PHONE: 314.621.8990

TELEPHONE

AT&T TELEPHONE COMPANY
 13075 MANCHESTER ROAD
 263 FERRIS, MO 63131
 ATTN: MR. DOUG LAMPERT
 PHONE: 314.937.3748; 314.933.3824

WATER

CITY OF KIRKWOOD
 139 SOUTH KIRKWOOD RD.
 KIRKWOOD, MO 63122
 PHONE: 314.984.9936

FIRE

KIRKWOOD FIRE DEPARTMENT
 11804 810 81ND
 KIRKWOOD, MO 63122
 PHONE: 314.984.5906

EXISTING CONDITIONS

THIS DRAWING REFLECTS THE RESULTS OF TOPOGRAPHIC AND BOUNDARY SURVEYS (AS MAY BE BASED UPON FIELD WORK, AVAILABLE RECORDS, OR A COMBINATION THEREOF), AND RESEARCH OF AVAILABLE UTILITY RECORDS, AS MAY OR MAY NOT HAVE BEEN SUPPLEMENTED BY SITE RECONNAISSANCE, TO THE BEST OF OUR KNOWLEDGE AND BELIEFS CURRENT AS OF OCTOBER 2021. PUBLICATION OF THIS DRAWING DOES NOT CONSTITUTE OR IMPLY A WARRANTY OR GUARANTEE OF SITE CONDITIONS. IT IS NOT INTENDED AND SHOULD NOT BE USED TO SUBSTITUTE OR REPLACE THE INVESTIGATIVE EFFORT(S) OF ANY DESIGN PROFESSIONAL CONTRACTORS (ENGINEER OR SURV). OWNER, LENDER, END USERS, PURCHASERS OR ANYONE ELSE NOW HAVING OR AS WILL HAVE AN INTEREST IN THE PROPERTY, SAME TO PERFORM THEIR OWN INDEPENDENT RESEARCH PRIOR TO OR DURING CONSTRUCTION, TO ASCERTAIN CONDITIONS AS EXIST AT THE SITE, REFER TO PROJECT GEOLOGICAL REPORT FOR INFORMATION AS TO SUBSURFACE CONDITIONS. SEE NOTICES TO CONTRACTOR THIS SHEET. CONTACT 1-800-DIG-RITE FOR LOCATES OF MEMBER UTILITIES. PRIVATE SERVICE LINES MAY/WILL ADDITIONAL INVESTIGATION, BEYOND ANY PRIOR EFFORTS OF THIS OFFICE AS TO EXISTENCE AND/OR LOCATIONS.

NOTICE TO CONTRACTOR

THE LOCATION OF ANY UNDERGROUND FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, PUBLIC OR PRIVATE, AS MAY BE SHOWN ON THESE DRAWINGS HAVE BEEN APPROXIMATED FROM: FACILITY MAPS PROVIDED TO OUR OFFICE BY UTILITY PROVIDERS, RECEIVED AS OF THE DATE OF THIS DRAWING; EXTRAPOLATION FROM SURFACE FEATURES AS MAY HAVE BEEN NOTICED DURING FIELD RECONNAISSANCE OR FIELD SURVEYS, AND/OR LOCATES AS MAY HAVE BEEN MARKED ON THE DRAWING. THESE LOCATIONS MUST BE CONSIDERED STRICTLY APPROXIMATE, ARE INTENDED FOR GENERAL INFORMATION ONLY, AND SHOULD NOT BE RELIED UPON BY ANYONE HAVING ACCESS TO THIS DRAWING. IT IS THE RESPONSIBILITY OF ANY CONTRACTORS / SUBCONTRACTORS OR ANYONE PERFORMING EXCAVATIONS OR CONSTRUCTING IMPROVEMENTS ON THIS SITE TO VERIFY NOT JUST THE X-Y-Z LOCATION(S) OF UTILITIES AS MAY BE SHOWN, BUT ALSO THE EXISTENCE OF ANY FACILITIES AS MAY NOT BE SHOWN, INCLUDING SERVICE LINES, AND THE RELATIONSHIP / COMPATIBILITY BETWEEN ANY PROPOSED WORK AND SUCH EXISTING FACILITIES. STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, TO VERIFY ADEQUATE CLEARANCE/COVER/STRUCTURAL CAPABILITIES OR INTEGRITY VERSUS ANY PROPOSED GRADING, SEWERS AND/OR DRAINAGE FACILITIES, FOOTINGS, IMPROVEMENTS, ETC. PRIOR TO CONSTRUCTION. REPRESENTATIVES OF UTILITY COMPANIES, SEWER AND/OR WATER AUTHORITIES, INCLUDING LOCAL MUNICIPAL AGENCIES AS MAY HAVE JURISDICTION OVER SAME, SHALL BE ON SITE DURING SUCH TIMES THAT ANY WORK IS TAKING PLACE OVER, UNDER OR IN THE VICINITY OF ANY FACILITIES AS MAY BE SHOWN ON THE DRAWINGS OR OTHERWISE FOUND TO EXIST, AND THE CONTRACTORS SHALL GIVE ADVANCE NOTICE TO SUCH REPRESENTATIVES AS NEEDED TO COORDINATE THEIR EFFORTS IN THIS REGARD. ADDITIONALLY, CONTRACTORS/ SUBCONTRACTORS SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY PROVIDERS AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF, THEIR FACILITIES; WORKING WITHIN THEIR RIGHTS-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED DOLLAR CHARGES; AND/OR SPECIAL BACKFILL OR RESTORATION REQUIREMENTS. SUCH INVESTIGATIONS TO INCLUDE BUT NOT BE LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENT OF ANY AND ALL REQUIRED FEES.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
FIELD S28 APPROX	CONTOURS	S28
528	SPOT(S)	+ S28
528	SLOPE DESIGNATOR	528
G	GAS W/ VALVE	G
---CATV---	UNDERGROUND TELEPHONE	---CATV---
---CATV---	CABLE TV	---CATV---
○	TRANSFORMER	○
○	PEDESTAL	○
---OVH---	OVERHEAD LINES	---OVH---
○	UTILITY POLE	○
---E---	UNDERGROUND ELECTRIC	---E---
○	LIGHT STANDARD	○
○	WATER	○
○	WATER VALVE	○
○	WATER METER/VAULT	○
○	FIRE HYDRANT	○
---ST---	STORM SEWER	---ST---
---SS---	UNDERDRAIN	---SS---
---SS---	SANITARY SEWER	---SS---
○	CURB INLET	○
○	AREA INLET & OPEN SIDE (ALL IF NO ARROWS)	○
○	GRATED INLET	○
○	MANHOLE	○
○	FLARED END SECTION WITH HEADWALL	○
○	BMP HWEL	○
○	SANITARY/COMBINED STRUCTURE	○
○	STORM STRUCTURE	○
○	DRAINAGE AREA LIMITS	○
○	DRAINAGE AREA DESIGNATOR	○
○	CONCRETE	○
○	ASPHALT	○
○	RP RAP	○
○	BENCHMARK	○
○	SIGN (SINGLE POST)	○
○	FENCE	○
○	LAND DISTURBANCE	○
○	SAWCUT	○
○	SILT FENCE	○
○	RETAINING WALL	○

ABBREVIATIONS

AC	ACRE
AHJ	AUTHORITY HAVING JURISDICTION
ASP	ASPHALT
BF	BASEMENT FLOOR
BL	BUILDING LINE
CALC.	CALCULATED
CL	CENTER LINE
CO	CLEANOUT
CONC.	CONCRETE
DB	DEED BOOK
DS	DOWNSPOUT
EASMT.	EASEMENT
ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FT	FEET
FF	FINISHED FLOOR ELEVATION
FL	FLOWLINE
HBW	HIGH BOTTOM WALL
HP	HIGH POINT
HORIZ.	HORIZONTAL
HWEL	HIGH WATER ELEVATION
LSW	LOW BOTTOM WALL
LP	LOW POINT
LS	LOW SILL
MH	MANHOLE
ME	MATCH EXISTING
MAX.	MAXIMUM
MIN.	MINIMUM
N/F	NOW OR FORMERLY
PB	PLAT BOOK
PG	PAGE
PIV	POST INDICATOR VALVE
# PVC	POLYVINYL CHLORIDE
PL	PROPERTY LINE
# RCP	RCP
R/W	RIGHT OF WAY
SAN.	SANITARY
SBM	SITE BENCHMARK
SF	SQUARE FEET
STA.	STATION
STM.	STORM
(TBA)	TO BE ABANDONED
(TBA&R)	TO BE ABANDONED & RELOCATED
(TBD)	TO BE DETERMINED
(TBR)	TO BE REMOVED
(TBR&R)	TO BE REMOVED & REPLACED
TF	TOP OF FOUNDATION
TW	TOP OF WALL
UNK	UNKNOWN
(UIP)	USE IN PLACE
# VCP	VITRIFIED CLAY PIPE
VERT.	VERTICAL

KIRKWOOD GIS/ZONING MAP N.T.S.

NO.	ADDRESS	ELEV.	302 VARIANCE / VALUE	COMMENTS
1	VERTICAL (AT PROPOSED FRONT SETBACK)			SEE OTHER SHEETS
2	EXIST SPOT GRADE	575.33		AT - CENTER / ENTRY OF HOUSE AT PROPOSED FRONT SETBACK (SEE OTHER SHEETS)
3	ELEVATION AT STREET	583.00		EDGE PAVEMENT GEORGE AVENUE AT PRO DRIVEWAY
4	BASED ON FF LIVING AREA 308 + 312			FF = EXPECTED PREDOMINANT LIVING AREA 308 + 312
5	CALC FF	582.64	3.21	SEE OTHER SHEETS
6	PRO FF	585.85		BASED ON MSD REGULATIONS, SEE OTHER SHEETS
7	IF ADDNL 12" UPWARD ADJUSTMENT	583.64	2.21	12" = CALC'D VALUE
8	CALC GF AT OHD. WITH 12" ADJUSTMENT	581.79		GF AT OHD 1.85 FT BELOW CALC'D FF
9	CALC GF -> STREET		(1.21)	
10	BASED ON BF (ADJ FOR REVERSE WALKOUTS) 308 + 312			BF / LL 308 + 312
11	CALC FF	577.37		SEE OTHER SHEETS
12	PRO FF	585.85	8.48	BASED ON MSD REGULATIONS, SEE OTHER SHEETS
13	IF ADDNL 12" UPWARD ADJUSTMENT	578.37	7.48	12" = CALC'D VALUE
14	CALC GF AT OHD. WITH 12" ADJUSTMENT	576.52		GF AT OHD 1.85 FT BELOW CALC'D FF
15	CALC GF -> STREET		(8.48)	
16	BASED ON 24" ABOVE EXIST SPOT GRADE			CODE OPTION
17	CALC FF	577.33		24" = EXIST SPOT
18	PRO FF	585.85	8.52	BASED ON MSD REGULATIONS, SEE OTHER SHEETS
19	IF ADDNL 12" UPWARD ADJUSTMENT	578.33	7.52	12" = CALC'D VALUE
20	CALC GF AT OHD. WITH 12" ADJUSTMENT	576.48		GF AT OHD 1.85 FT BELOW CALC'D FF
21	CALC GF -> STREET		(6.52)	
22	PRO GF	584.00		SEE PROPOSED SITE PLAN
23	CALC GF -> STREET		1.00	

YEAR	ACTIVITY (PER AVAIL RECORDS)	SETBACK
1961	HOUSE CONSTRUCTED #308 GEORGE	52.8
1963	HOUSE CONSTRUCTED #312 GEORGE	51.4
1978	HOUSE CONSTRUCTED #318 GEORGE	100.1
MID 1990'S	MSD IMPROVEMENTS	
2000	HOUSE CONSTRUCTED #320 GEORGE	35.4
2021	PROPOSED SETBACK #302	52.8

FOR AGENCY REVIEW

STATUS/REVISIONS

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C1
 MSDF: BASEMAP - 24N

CITY'S EXHIBIT NO. 7

AT PROPOSED FRONT SETBACKS

GEORGE AVE (50'W)

KEYED NOTES

- GENERAL: SEE NOTICE TO CONTRACTOR SHEET C1 AND KEYED NOTES OTHER SHEETS AS MAY BE APPLICABLE TO WORK DEPICTED ON THIS DRAWING.
1. MATCH EXISTING AT PROPERTY LINE (TYP).
 2. SECURE MSD ENCROACHMENT LICENSE FOR PROPOSED RETAINING WALLS. TYP 302 + 30A.
 3. EXTEND/OVERDEEEN FOUNDATION AS REQUIRED. TYP BOTH LOTS AS REQUIRED.
 4. BLUE SHADING DEFICITS LIMITS BACKWATER 100 YEAR HWEL CONTROLLED BY CULVERT UNDER RAILROAD.
 5. FIELD ADJUST PROPOSED GRADES THIS AREA TO ADAPT TO EXISTING ELEVATIONS, AND MAINTAIN OR ATTAIN POSITIVE DRAINAGE TO MEP.
 6. SIZE OF DECK AND PATIO PER AE PLANS.
 7. CONSTRUCT DIVERSION BERM AND SHALE TOP OF SLOPE.
 8. SEE AE PLANS FOR LOCATIONS AND SIZE VISTA WINDOWS.
 9. SUMP PUMP TO DISCHARGE TO BMP PER CITY STANDARDS. PIPING/STORMWATER DRAINAGE, ETC TO BE DETAILED ON FUTURE SITE DEVELOPMENT PLANS.
 10. MINIMUM 2FT CLEARANCE PROPOSED DRIVE TO EXISTING FIRE HYDRANT.
 11. TOP/BOTTOM OF WALL VARIET. ADAPT TO PROPOSED GRADES (TYP).
 12. PORCH ELEVATION CALCULATED AT 7.58' BELOW FINISHED FLOOR (TYP).
 13. JOINTING AND FLATWORK PER ACI RECOMMENDATIONS.
 14. MAINTAIN FOUR SIDES OPEN EXISTING INLET.
 15. RIP RAP OR OTHERWISE STABILISE DIVERSION SWALE.
 16. PER FOOTING WHEREAS DIRECTED BY MSD FOR ZONE OF INFLUENCE.



DISCLAIMER
 THESE DRAWINGS ARE FOR
 AGENCY REVIEW AND UNTIL
 APPROVED ARE NOT FOR
 CONSTRUCTION.

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 PROPOSED SITE AND GRADING PLAN

Prepared For:
 MR. STIVIE HAYES
 5486 HANCOCK ROAD, SUITE 115
 ST. LOUIS, MO 63129
 e: STIVIE@HARMONCREATIVITY.COM
 o: (314) 265-3700

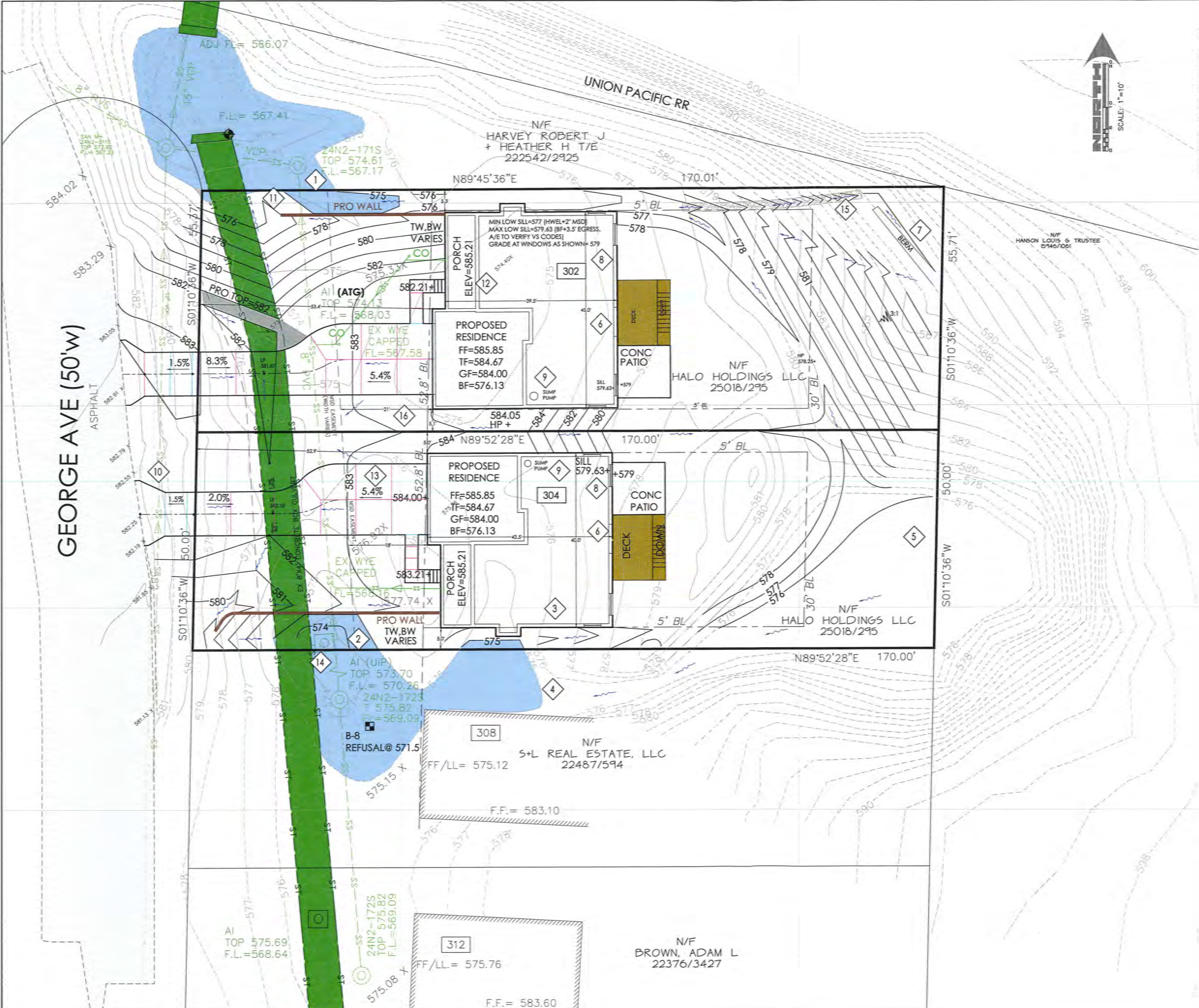
Prepared By:
 WIND ENGINEERING COMPANY
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.955.1100
 Email: winds@windengr.com
 C.O.A. #E-1607-D

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE
 COPYRIGHTED AND REMAIN THE PROPERTY
 OF WIND ENGINEERING. THEY MAY NOT
 BE USED OR REPRODUCED WITHOUT
 WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Checked: PC
Drawn By:	PC C.S.O.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C6
MSD P-:	BAGMAP-24N

NOTE: PROPOSED FINISHED FLOOR ESTABLISHED TO RESPECT MSD REGULATIONS, SEE OTHER SHEETS.



N/F
 BROWN, ADAM L
 22376/3427

RECEIVED
 OCT 11 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT

RECEIVED
 OCT 11 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT



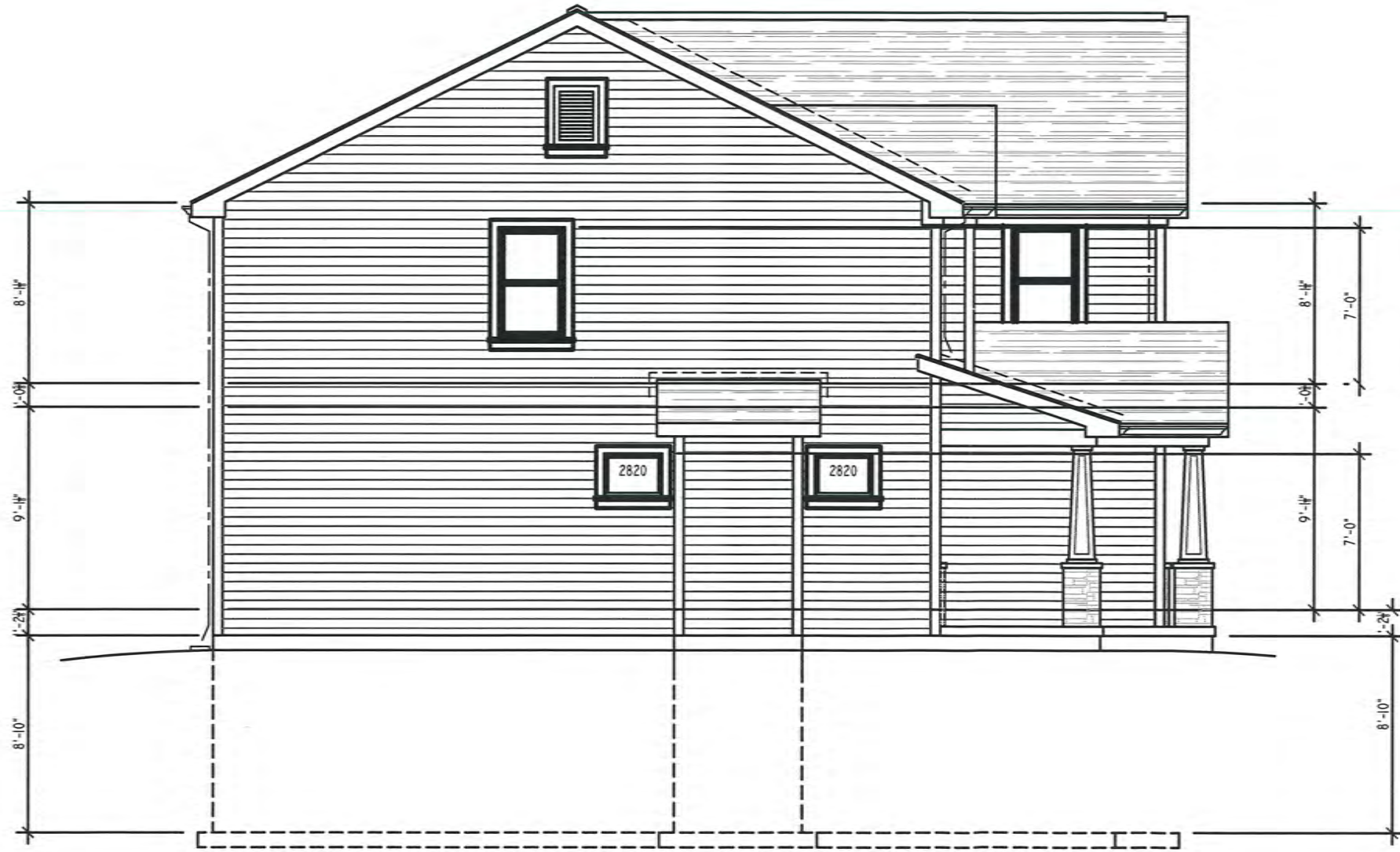
ISSUED: 07-15-2021
 ISSUED: 07-17-2021

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
 3726 GUMTREE LANE
 ST. LOUIS, MO 63129

ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
 1016 CLARK DRIVE
 FENTON, MO 63026
 636-343-6527
 MO. CERT. OF AUTH. 2013007016

CLIENT:
SPEC HOME
 302 GEORGE AVENUE
 KIRKWOOD, MO 63122

SHEET
A4



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

CLIENT:
SPEC HOME
302 GEORGE AVENUE
KIRKWOOD, MO 63122

SHEET
A5

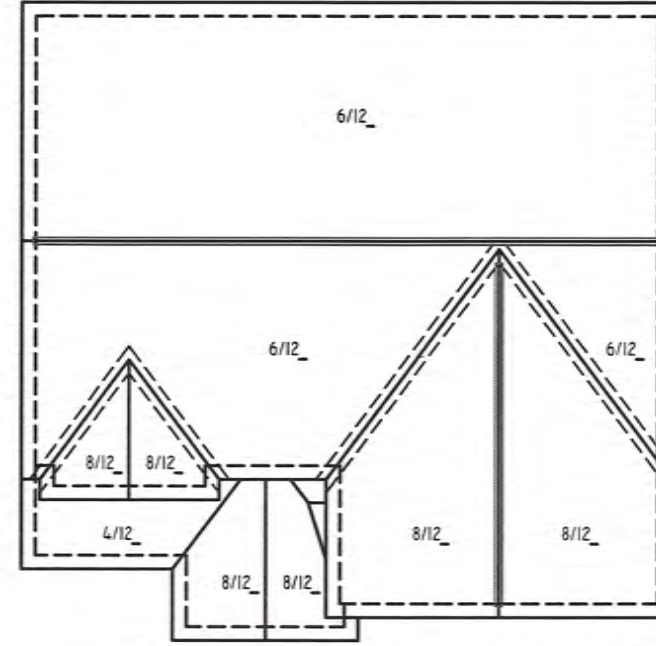
ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
1016 CLARK DRIVE
FENTON, MO 63026
636-343-6527
MO. CERT. OF AUTH. 2013007016

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
3726 GUMTREE LANE
ST. LOUIS, MO 63129

ISSUED: 07-15-2021
ISSUED: 07-17-2021



NORTH ELEVATION
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/8"=1'-0"

ISSUED: 07-15-2021
ISSUED: 07-17-2021

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
3726 GUMTREE LANE
ST. LOUIS, MO 63129

ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
1016 CLARK DRIVE
FENTON, MO 63026
636-343-6527
MO. CERT. OF AUTH. 2013007016

CLIENT:
SPEC HOME
302 GEORGE AVENUE
KIRKWOOD, MO 63122

SHEET

A6



WEST ELEVATION
SCALE: 1/4"=1'-0"

CLIENT:
SPEC HOME
302 GEORGE AVENUE
KIRKWOOD, MO 63122

ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
1016 CLARK DRIVE
FENTON, MO 63026
636-343-6527
MO. CERT. OF AUTH. 2013007016

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
3726 GUMTREE LANE
ST. LOUIS, MO 63129

ISSUED: 07-15-2021
ISSUED: 07-17-2021

SHEET

A7

GEORGE AVE (50'W)

KEYED NOTES

GENERAL: SEE NOTICE TO CONTRACTOR SHEET C1 AND KEYED NOTES OTHER SHEETS AS MAY BE APPLICABLE TO WORK DEPICTED ON THIS DRAWING.

1. SOIL BORING INFORMATION FROM MSD PLANS, PROJ#87127.
2. EXISTING CONCRETE ENCASED SANITARY SEWER INSIDE BOX CULVERT.
3. SOUTH END (ENTRANCE) TO 7.8X5.05' BOX CULVERT.
4. LIMITS OF 100-YEAR HWEL BACKWATER ELEVATION -575.



DISCLAIMER
THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.



ENTRANCE TO EXISTING CULVERT BENEATH RAILROAD

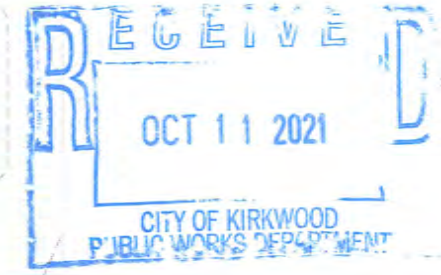


DISCHARGE END MSD CULVERT INSTALL (C. 1997 AB)

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 EXISTING CONDITIONS/100-YEAR HWEL EXHIBIT

Prepared By: **wind**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.955.5500
 Email: wind@windengr.com
 G.O.A. #E-1607-D

Presented For: **Hennick Realty**
 MR. STEVE HAYES
 HENNECK REALTY, LLC
 546 HANCOCK BLVD
 ST. LOUIS, MO 63129
 e: STEVE@HENNECKREALTY.COM
 o: (314) 295-3799



SEE SHEETS C4.1-C4.3
 FOR HYDRAULIC ANALYSIS/
 100-YEAR HWEL CALCULATIONS

CITY'S EXHIBIT NO. 7

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Checked: PC
Drawn By:	PC c.s.o.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C3.2



1. **Rainfall Frequency**

A twenty (20) year rainfall frequency is to be used in the City of St. Louis and areas of St. Louis County where combined sewers are used. A fifteen (15) year rainfall frequency is to be used in areas of St. Louis County where storm sewers are separated from sanitary sewers. In the design of local storm sewer systems, a twenty (20) minute time of concentration shall be used, unless drainage area and time of concentration dictates a different duration as indicated in item 3 below. **Figure 4-1** gives rainfall curves for 2, 5, 10, 15, 20 and 100 year frequencies.

2. **Impervious Percentages and Land Use**

Minimum impervious percentages to be used are as follows:

- a. For manufacturing and industrial areas, 100%*
- b. For business and commercial areas, 100%*
- c. For residential areas, including all areas for roofs of dwellings and garages; for driveways, streets, and paved areas; for public and private sidewalks; with adequate allowance in area for expected or contingent increases in imperviousness:

In apartment, condominium and multiple dwelling areas: 75%*

In single family areas:

1/4 Acre or less	50%
1/4 Acre to 1/2 Acre	40%
1/2 Acre to 1 Acre	35%
One acre or larger	Calculate impervious percentage*
Playgrounds (Non-Paved)	20-35%*

- d. For small, non-perpetual charter cemeteries, allow 30%

For parks and large perpetual charter cemeteries 5%

***NOTE:** Drainage areas may be broken into component areas, with the appropriate run-off factor applied to each component, i.e. a proposed development may show one hundred percent (100%) impervious for paved areas and five percent (5%) impervious for grassed areas. Use of actual component areas may be required, however, where minimum impervious percentages are deemed misleading, or too approximate.

The design engineer shall provide adequate detailed computations for any proposed, expected or contingent increases in imperviousness and shall make adequate allowances for changes in zoning use. If consideration is to be given to any other value than the above for such development, the request must be made at the beginning of the project, must be reasonable, fully supported, and adequately presented, and must be approved in writing before its use is permitted.

Although areas generally will be developed in accordance with current zoning requirements, recognition must be given to the fact that zoning ordinances can be amended to change the currently proposed types of development, and any existing use. Under these circumstances the possibility and the probability of

residential areas having lot sizes changed or re-zoned to business, commercial, or light manufacturing uses should be given careful consideration.

- e. Average 20-minute values of P.I. (cfs per acre) to be used are as follows:

Percent Imperviousness	20 Minute Duration	
	15 Year	20 Year
5	1.70	1.78
10	1.79	1.87
20	2.00	2.09
30	2.19	2.28
40	2.39	2.50
50	2.58	2.69
90	3.36	3.50
100	3.54	3.70

*Roofs (Combined Sewer Areas)
20-year 20 minute PI 6.00, 100-year 20 minute PI 7.75

*Roofs (Separate Sewer Areas)
15-year 20 minute PI 4.20, 100-year 20 minute PI 5.62

*When connected directly to sewer

3. **Reduction in P.I. with Time and Area**

Reduction in P.I. values for the total time of concentration exceeding twenty (20) minutes, and for tributary areas exceeding three hundred (300) acres will be allowed only in trunk sewers and main channels. The reduced average P.I. value for the tributary area shall not be less than the value determined as follows on the basis of:

- a. Time. As the time of concentration increases beyond twenty (20) minutes, select the appropriate P.I. value from Table 4-2. The travel time through a drainage channel should be based on an improved concrete section. These reduced values shall be used unless a further reduction is allowed for area.
- b. Area. As the total tributary area at any given location in a channel increases in excess of three hundred (300) acres, the P.I. value may be further reduced by multiplying it by an area coefficient "Ka". (The area coefficient is obtained from data in a special study of a major storm in the St. Louis area by the U.S. Corps of Engineers.) The average rainfall rate, for a given storm, for a given period for the tributary area, is less than the corresponding point value as determined from recording rainfall gauges. The curve data is as follows:

Area (Abscissas)	P.I. Coefficients Ka	
	"Ka" (Ordinates)	
300 to 449 Acres	1.00	
450 to 549 Acres	.99	
550 to 749 Acres	.98	
750 to 999 Acres	.97	
1000 to 1280 Acres	.96	
1281 to 1600 Acres	.95	
1601 to 1920 Acres	.92	
1921 to 2240 Acres	.91	



DISCLAIMER
THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

302 GEORGE AVE
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: **Wind**
122 N. Kirkwood Road
Kirkwood, MO 63122
Telephone: 314.985.4122
Email: wind@windeng.com
G.O.A. #E-1607-D

Presented for: **Hemrick Realty**
MR. STEVE HAYES
Hemrick Realty, LLC
548 S. Kirkwood
St. Louis, MO 63129
e: STEVE@HEMRICKREALTY.COM
O: (314) 306-3791

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
COPYRIGHT 2021
THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

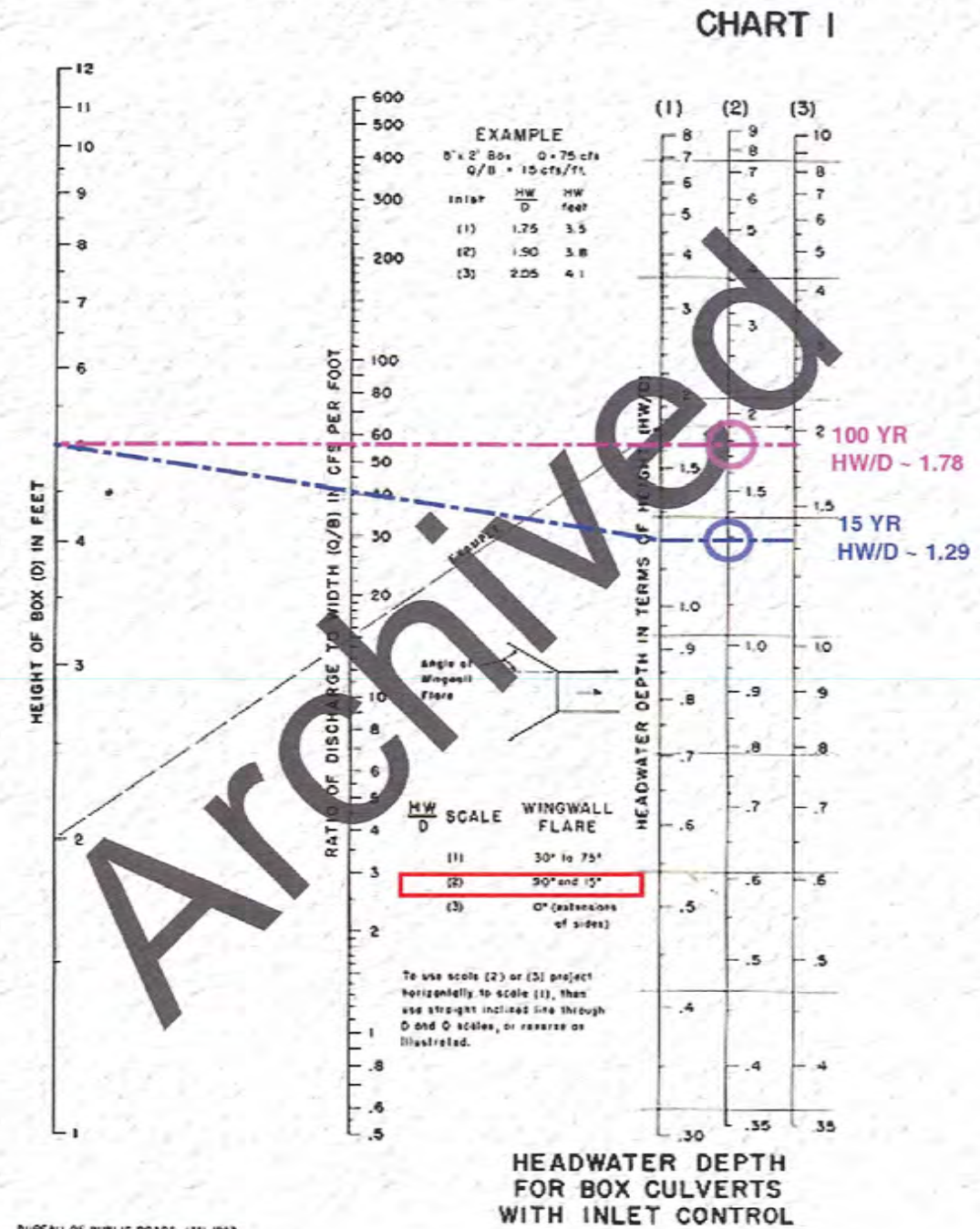
Date: 10/11/2021
Field Work: DS Field Checked: PC
Drawn By: PC C.S.G.: PC
Checked By: DW
Project Number: 21046
Sheet Number: C4.1A
MSD #: BASEMAP: 249

- plan shall also show locations of the proposed encroachment and structure(s), together with existing topography.
2. The site plan shall show the entire flood plain (not just the project site area) a minimum of two hundred (200) lineal feet downstream and upstream of the proposed project.
 3. Cross section locations and alignment shall be shown on the site plan. The sections should be located perpendicular to the flow in both the channel and overbanks. The sections shall be taken and plotted left to right looking downstream. The flood profile shall be plotted for inclusion in the study.
 4. Cross sections shall show the following items:
 - a. 100-year water surface elevation.
 - b. Manning's "n" values
 - c. Top of bank locations
 - d. Horizontal stationing, vertical elevations
 - e. Existing and proposed groundlines
 - f. Existing and proposed sewers
 - g. Cross section identification as it relates to the site plan and hydraulic study
 - h. Existing or proposed structures
 - i. Floodway limits
 5. Crossroad culverts in the flood plain shall be designed on a 100-year storm frequency and provide a minimum of two (2) feet of freeboard at the road shoulder line.
 6. Basement elevations, with the exception of walkouts, must be one (1) foot above the 100-year flood elevation. Basements outside the flood plain limits may be below the 100-year flood elevation if a sanitary pump is installed in the basement with the outgoing plumbing located above the 100-year elevation.
 7. The lowest finished floor elevation of all new or redevelopment structures, including slab on grade, shall be minimum of one (1) foot above the 100-year flood elevation. The low sill of all structures in or adjacent to the floodplain shall be a minimum of two (2) feet above the 100-year flood elevation.
 8. Channel and overbank (flood plain) velocities should generally not increase by more than fifty percent (50%) over pre-developed conditions. Velocities in excess of five (5) feet per second (fps) in channels shall require erosion protection.

MSD REGS 5.010.07(7)

[Go Back to Part II](#)

[Go to Chart 2](#)



NOTE: CULVERT HYDRAULICS DO NOT MODEL THE "FILLET" ON TOP OF SLAB OR THE EXISTING CONCRETE-ENCASED SANITARY SEWER INTERNAL TO THE CULVERT (SEE PHOTOS OTHER SHEETS)



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: **WIND**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 636.750.7500
 Email: wind@windengr.com
 G.O.A. #E-1607-D

Presented for:
 MR. STEVEN HAYES
 446 BALTIMORE ROAD SUITE 125
 ST. LOUIS, MO 63129
 e: STEVEN@HARRISREALESTATE.COM
 O: (314) 369-3790

Hennrick
HR Realty

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT © 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Checked: PC
Drawn By:	PC C.S.O.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C4.1B
MSD P:	BASEMAP: 24N

P.I. FACTOR IN CUBIC FEET PER SECOND PER ACRE

DURATION OF RAIN IN MINUTES	% IMPERVIOUS	15-YEAR RAINFALL FREQUENCY						20-YEAR RAINFALL FREQUENCY					
		15	20	30	60	90	120	15	20	30	60	90	120
0	1.59	1.61	1.52	1.22	1.04	0.92	1.65	1.68	1.60	1.29	1.08	0.96	
5	1.70	1.70	1.59	1.27	1.08	0.95	1.76	1.78	1.68	1.34	1.11	0.99	
10	1.80	1.79	1.68	1.33	1.12	0.97	1.87	1.87	1.77	1.40	1.15	1.02	
15	1.91	1.89	1.76	1.38	1.15	1.00	1.98	1.97	1.85	1.45	1.19	1.05	
20	2.01	2.00	1.85	1.43	1.18	1.03	2.09	2.09	1.95	1.50	1.22	1.07	
25	2.12	2.09	1.92	1.49	1.22	1.06	2.20	2.18	2.03	1.56	1.26	1.10	
30	2.23	2.19	2.00	1.54	1.26	1.08	2.31	2.28	2.11	1.61	1.30	1.13	
35	2.33	2.28	2.09	1.58	1.29	1.11	2.42	2.38	2.20	1.66	1.33	1.16	
40	2.44	2.39	2.16	1.63	1.33	1.13	2.53	2.50	2.28	1.71	1.37	1.18	
45	2.54	2.48	2.26	1.69	1.37	1.16	2.64	2.59	2.38	1.78	1.41	1.22	
50	2.65	2.58	2.33	1.74	1.40	1.19	2.75	2.69	2.46	1.83	1.44	1.24	
55	2.76	2.67	2.41	1.79	1.43	1.22	2.86	2.78	2.54	1.88	1.48	1.27	
60	2.86	2.76	2.50	1.85	1.47	1.24	2.97	2.88	2.63	1.94	1.52	1.30	
65	2.97	2.88	2.57	1.90	1.51	1.27	3.08	3.00	2.71	1.99	1.56	1.33	
70	3.07	2.97	2.66	1.94	1.54	1.29	3.19	3.10	2.81	2.04	1.59	1.35	
75	3.18	3.06	2.74	2.00	1.58	1.32	3.30	3.19	2.89	2.10	1.63	1.38	
80	3.29	3.15	2.81	2.05	1.62	1.35	3.41	3.29	2.96	2.15	1.67	1.41	
85	3.39	3.24	2.90	2.10	1.65	1.38	3.52	3.38	3.06	2.21	1.70	1.44	
90	3.50	3.36	2.98	2.16	1.68	1.40	3.63	3.50	3.14	2.27	1.74	1.46	
95	3.60	3.45	3.07	2.21	1.72	1.43	3.74	3.60	3.24	2.32	1.78	1.50	
100	3.71	3.54	3.15	2.26	1.76	1.45	3.85	3.70	3.32	2.37	1.81	1.52	
RAINFALL	5.30	4.60	3.70	2.40	1.86	1.53	5.50	4.80	3.90	2.52	1.92	1.60	

TABLE 4-2

P.I. VALUES FOR VARIOUS IMPERVIOUS CONDITIONS
(15 YEAR & 20 YEAR RAINFALL FREQUENCIES)

P.I. FACTOR IN CUBIC FEET PER SECOND PER ACRE

DURATION OF RAIN IN MINUTES	% IMPERVIOUS	10-YEAR RAINFALL FREQUENCY						100-YEAR RAINFALL FREQUENCY					
		15	20	30	60	90	120	15	20	30	60	90	120
0	1.48	1.51	1.42	1.15	0.95	0.83	2.10	2.17	2.06	1.68	1.40	1.18	
5	1.57	1.59	1.49	1.19	0.99	0.85	2.24	2.29	2.16	1.75	1.45	1.22	
10	1.67	1.68	1.57	1.25	1.02	0.88	2.38	2.42	2.28	1.83	1.50	1.24	
15	1.77	1.76	1.64	1.29	1.05	0.90	2.52	2.54	2.38	1.90	1.55	1.28	
20	1.87	1.87	1.73	1.34	1.08	0.92	2.66	2.70	2.51	1.96	1.59	1.31	
25	1.97	1.96	1.80	1.40	1.11	0.95	2.80	2.82	2.61	2.05	1.64	1.35	
30	2.07	2.04	1.87	1.44	1.15	0.97	2.94	2.95	2.71	2.11	1.69	1.38	
35	2.16	2.13	1.95	1.48	1.18	1.00	3.08	3.07	2.84	2.18	1.74	1.42	
40	2.26	2.24	2.02	1.53	1.22	1.02	3.22	3.22	2.94	2.24	1.79	1.45	
45	2.36	2.32	2.11	1.59	1.25	1.05	3.36	3.35	3.08	2.33	1.84	1.49	
50	2.46	2.41	2.18	1.63	1.28	1.07	3.50	3.47	3.16	2.39	1.88	1.52	
55	2.56	2.49	2.25	1.68	1.31	1.10	3.64	3.60	3.26	2.46	1.93	1.56	
60	2.66	2.58	2.34	1.73	1.34	1.12	3.78	3.72	3.39	2.54	1.98	1.59	
65	2.76	2.69	2.40	1.78	1.38	1.15	3.92	3.88	3.49	2.61	2.03	1.63	
70	2.85	2.77	2.49	1.82	1.41	1.17	4.06	4.00	3.61	2.67	2.07	1.66	
75	2.95	2.86	2.56	1.88	1.44	1.19	4.20	4.12	3.71	2.76	2.13	1.70	
80	3.05	2.95	2.63	1.92	1.48	1.21	4.34	4.25	3.82	2.82	2.18	1.72	
85	3.15	3.03	2.72	1.97	1.50	1.24	4.48	4.37	3.94	2.89	2.21	1.76	
90	3.25	3.14	2.79	2.03	1.54	1.26	4.62	4.53	4.04	2.97	2.26	1.79	
95	3.35	3.23	2.87	2.07	1.57	1.29	4.76	4.65	4.17	3.04	2.31	1.83	
100	3.44	3.31	2.94	2.11	1.61	1.31	4.90	4.77	4.27	3.10	2.36	1.86	
RAINFALL	4.92	4.30	3.46	2.25	1.70	1.38	7.00	6.20	5.02	3.30	2.50	1.96	

TABLE 4-4

P.I. VALUES FOR VARIOUS IMPERVIOUS CONDITIONS
(10 YEAR & 100 YEAR RAINFALL FREQUENCIES)



DISCLAIMER
 THESE DRAWINGS ARE FOR
 AGENCY REVIEW AND UNTIL
 APPROVED ARE NOT FOR
 CONSTRUCTION.

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: **Wind**
 122 N. Kirkwood Road
 Telephone: 314.985.7800
 Fax: 314.985.7802
 Email: wind@windengr.com
 C.O.A. #E-1607-D

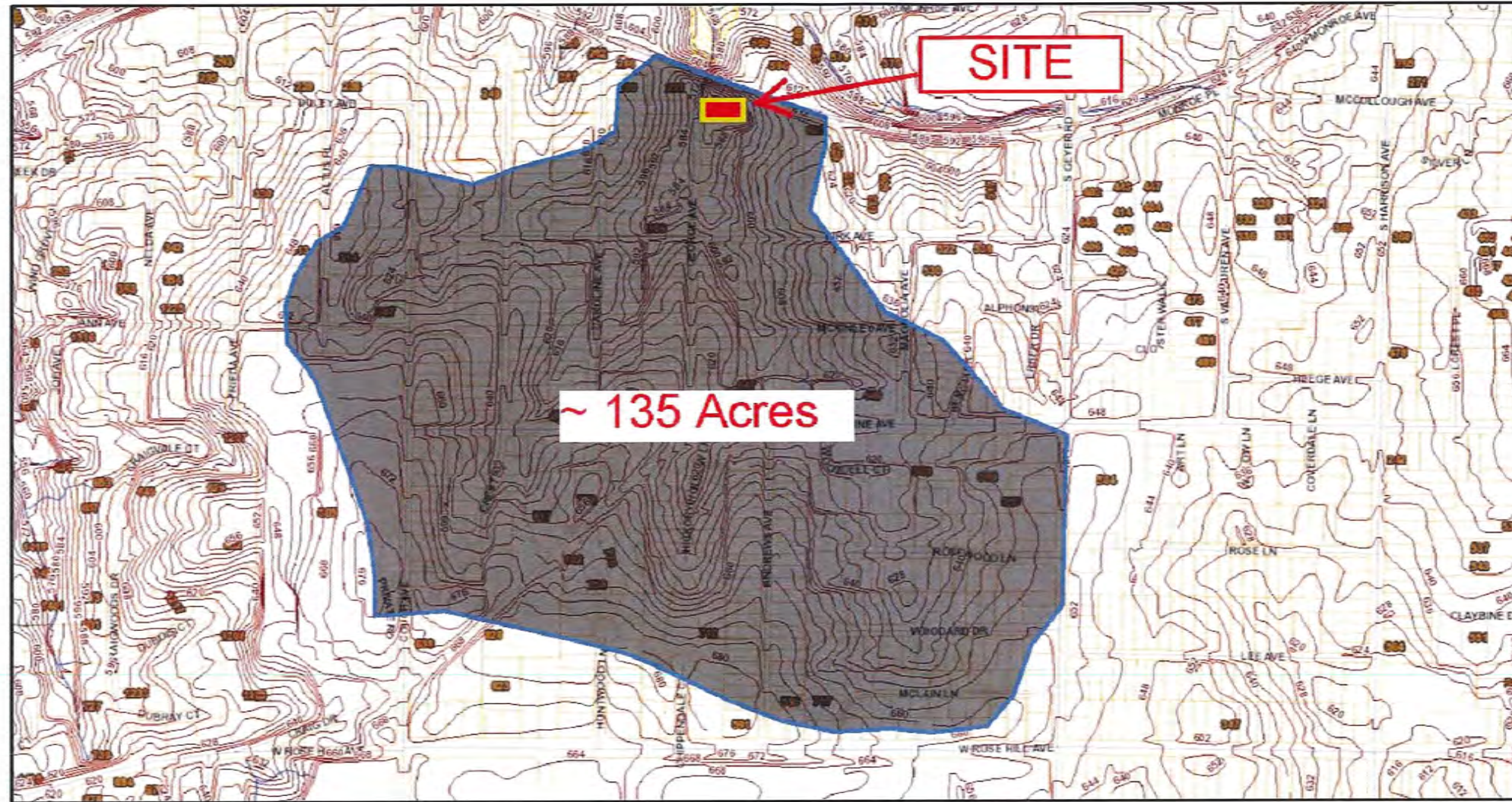
Reviewed by: **Hennick Realty**
 HENRIK REALTY, LLC
 546 BALMORISTON ROAD SUITE 125
 ST. LOUIS, MO 63139
 M: 314.456.6112
 O: 314.388.3790

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE
 COPYRIGHTED AND REMAIN THE PROPERTY
 OF WIND ENGINEERING. THEY MAY NOT
 BE USED OR REPRODUCED WITHOUT
 WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.G.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C4.1C
 MGD P: BABMAP-24N

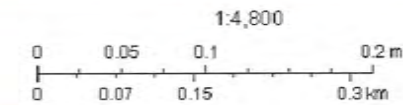
St. Louis County Map



10/4/2021, 9:55:37 AM

- Contours 4ft (1997)
- Other Flood Areas (0.2% Annual Chance)
- Special Flood Hazard Areas (1% Annual Chance)

DRAINAGE AREA MAP 302 GEORGE AVE, 63122



St. Louis County GIS Service Center

EVALUATE PERFORMANCE EXISTING RAIL ROAD CULVERT

NO.	STORM EVENT	15 YR	20 MIN DURATION	100 YR	STORM EVENT	NO.
1	APPROX D.A.	135	ACRES, SEE ATTACHED MAP	135	APPROX D.A.	2
3	AVE PI	2.39	40% IMP ENTIRE DA	3.22	AVE PI	3
4	15/20 Q	323	FLOWRATE, CFS	435	100/20 Q	4
EXIST BOX CULVERT						
5	HEIGHT, D	5.1	FEET	5.1	HEIGHT, D	5
6	WIDTH, B	7.8	FEET	7.8	WIDTH, B	6
7	Q/B	41	RATIO DISCHARGE TO WIDTH	56	Q/B	7
8	HW/D	1.29	FROM HEC-5 CHART 1	1.78	HW/D	8
9	ADJ FL RR BOX	566.07	566.46 PER MSD AB, ADJ PER FIELD SURVEY BY -0.39	566.07	ADJ FL RR BOX	9
10	HW FT	6.5	(HW/D) * D	9.0	HW FT	10
11	HWEL	572.58	CALC'D FOR SETTING BF AND LOW SILL ELEVS	575.06	HWEL	11
12	SAY	572.50	FOR PLOTTING LIMITS BACKWATER	575.00	SAY	12



DISCLAIMER
THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

302 GEORGE AVE
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: **wind**
122 N. Kirkwood Road
Kirkwood, MO 63122
Telephone: 636.252.7200
Email: wind@windengr.com
C.O.A. #E-1607-D

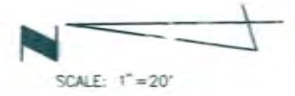
Presented for: **Herrick Realty**
MR. STEVE HAYES
KIRKWOOD REALTY, LLC
5486 BALMORAL BLVD SUITE 125
ST. LOUIS, MO 63128
E: STEVE@HIRICKREALTY.COM
O: (314) 205-3750

No.	Date	Description
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT

WIND ENGINEERING COMPANY
COPYRIGHT 2021
THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

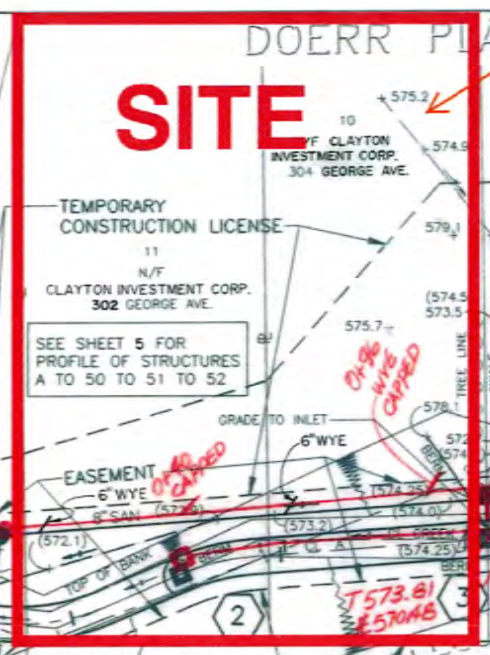
Date: 10/11/2021
Field Work: DS Field Checked: PC
Drawn By: PC C.S.O.: PC
Checked By: DW
Project Number: 21046
Sheet Number: C4.1D
MSD P. BAGMAP - 24x

CAROPARK SUBDIVISION
P.B.301 PG. 12



SITE

IS NOTED MSD'S WORK DEVELOPED
A SWALE FROM REAR LOW AREA
TO DRAIN TOWARDS MSD AI#3



SEE SHEET 5 FOR
PROFILE OF STRUCTURES
A TO 50 TO 51 TO 52

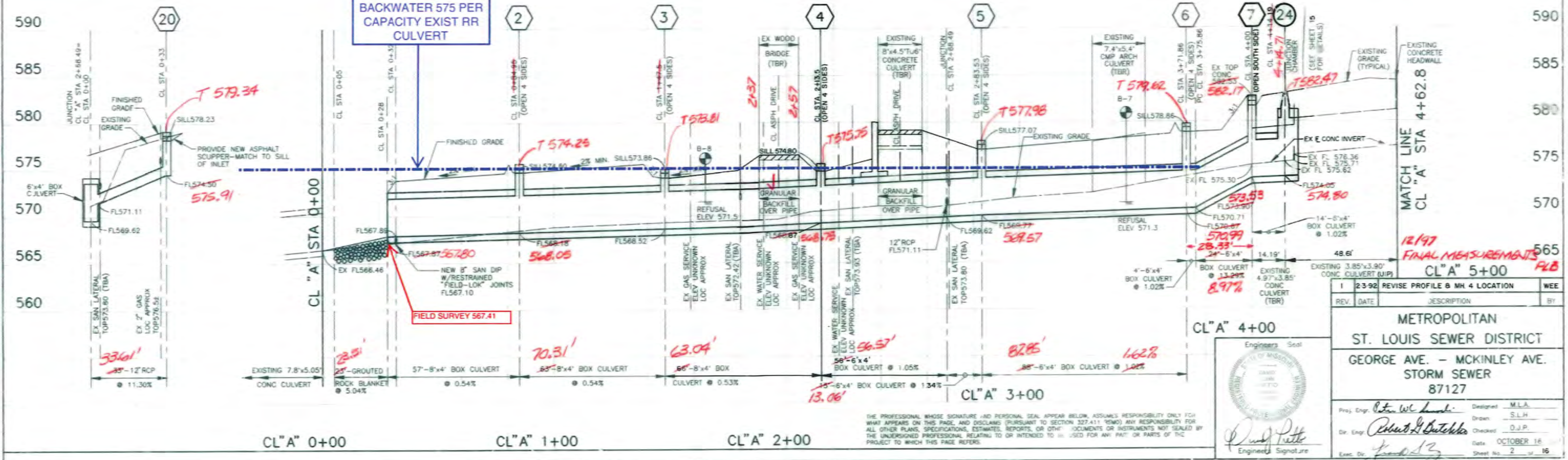
SEE SHEET 6 FOR
PROFILE OF STRUCTURES
B TO 53 TO 54 TO 55 TO F

SEE SHEET 13 FOR DETAIL
OF MANHOLE AND INLET
MANHOLES ON REINFORCED
CONCRETE BOX.

BM # 445-30
Cut triangle at Kirkwood on Missouri Pacific Railroad
0.5 miles West of station about one pole West of mile
post 14.46.0' East of centerline of South Track.
Standard U.S.G.S. monument with bronze disc 0.5' above
ground. ELEVATION 619.63

DOERR PLACE P.B.10 PG.5 BLOCK 7

APPROX 100 YEAR
BACKWATER 575 PER
CAPACITY EXIST RR
CULVERT



REV	DATE	REVISION	DESCRIPTION	BY
1	2-3-92	REVISE PROFILE	REVISE PROFILE B MH 4 LOCATION	WEE

**METROPOLITAN
ST. LOUIS SEWER DISTRICT
GEORGE AVE. - MCKINLEY AVE.
STORM SEWER
87127**

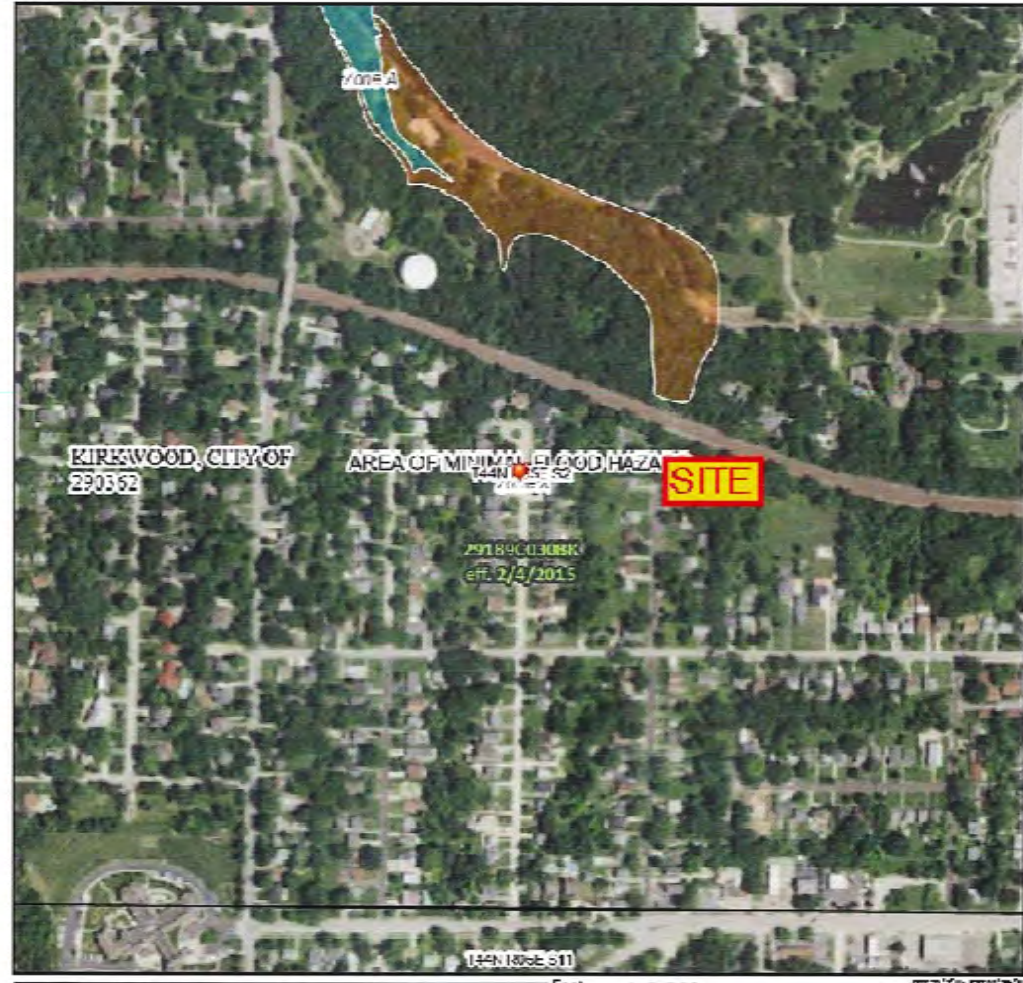
Proj. Engr. *John W. ...* Designer: M.L.H.
 Dr. Engr. *Robert A. ...* Drawn: S.L.H.
 Exec. Dr. *...* Checked: D.J.P.
 Date: OCTOBER 16
 Sheet No. 2 of 16

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR BELOW, ASSUMES RESPONSIBILITY ONLY FOR
WHAT APPEARS ON THIS PAGE AND DECLINES (PURSUANT TO SECTION 327.111 (10)(b)) ANY RESPONSIBILITY FOR
ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY
THE UNDERSIGNED PROFESSIONAL RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE
PROJECT TO WHICH THIS PAGE REFERS.

C4.2

TUBE 24N-C

National Flood Hazard Layer FIRMette



Legend

- SEE REPORT FOR DETAILED LEGEND AND/OR MAP FOR FIRM PANEL LAYOUT
- SPECIAL FLOOD HAZARD AREAS**
 - Without Basic Flood Elevation (BFE) Zone 1, 2, 3, 4, 5
 - With BFE Zone 1, 2, 3, 4, 5
 - Regulatory Floodway
 - OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone 1
 - Future Conditions 1% Annual Chance Flood Hazard Zone 1
 - Area with Retarded Flood Risk from Levee, See Note 3, Zone 1
 - Area with Flood Risk due to Inundation
 - OTHER AREAS**
 - NO SCREEN Area of Minimal Flood Hazard Zone 1
 - Diatomic DMAs
 - Area of Limited Flood Hazard Zone 1
 - GENERAL FEATURES**
 - Channel, Outflow, or Storm Sewer Levee, Dike, or Retention Wall
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Outfall Triangles
 - Basic Flood Elevation (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Outfall Triangles, Baseline
 - Profile Baseline
 - Hydrographical Feature
 - MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is a vector or a raster data set. The data used in this map complies with FEMA's standards for digital flood maps.

The data used in this map is derived from the National Flood Hazard Data Center (NFHC) and is provided by FEMA. This map was updated on 10/15/2021 at 11:20 AM and does not reflect changes or amendments subsequent to this date and time. The NFHC and other data sources may change or become superseded by newer data sets.

This map is not to be used for the following map elements that are applicable: base map images, map scale labels, legend, scale bar, map coordinate data, contour lines, contours, FIRM panel numbers, and FIRM effect dates. Map images for unmapped and unmapped areas should be used for regulatory purposes.

FEMA

SEMA INFORMATION (PRELIMINARY)



SEMA



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

Prepared By: **wind**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 636.947.7200
 Fax: 636.947.7202
 Email: wind@windengr.com
 C.O.A. #E-1607-D

Prepared for:
Hernick Realty
 506 BALTIMORE ROAD SUITE 105
 ST. LOUIS, MO 63129
 E: STEVE@HERNICKREALTY.COM
 O: (314) 265-3790

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FEMA FIRMETTE AND SEMA INFORMATION

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT © 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C4.3
 MSD P: BASEMAP: 24N

EVALUATION OF PROPOSED FFFH AND ASSOCIATED VARIANCES BASED ON PROPOSED FRONT SETBACKS (W/ VARIANCE) AND PROPOSED FF (PER MSD REGULATIONS TO RESPECT HYDRAULIC CONCERNS)

302 GEORGE-AT PROPOSED HORIZONTAL SETBACKS

NO.	ADDRESS>	302	308	312	318	320	COMMENTS
HORIZONTAL							
1	MIN SETBACK PER R4 ZONING DISTRICT	35	35	35	35	35	
2	EXIST SETBACKS PER SURVEYS		52.8	51.4	100.1	35.4	NOTED 302-318 RESPECTED PRIOR OPEN DRAINAGEWAY, SINCE ENCLOSED
3	MAX PROJECTION MSD EASEMENT	33.3	41.48	41.48	41.48	25.9	PER SURVEY OR AS APPROX PER MSD PLANS
4	CALC SETBACK PER CODE	68.1					
5	PROPOSED SETBACKS	52.8					NOTED PRO SETBACK = 308, > 312 + 320, << 318 (EXPECT 318 SITUATED BASED ON TOPOGRAPHY)
6	DELTA PRO V CALC (4-6)	15.3					VARIANCE REQUESTED BASED ON REAR YARD GRADES AND HISTORY OF PRIOR SETBACKS
7	PRO SETBACK TO MSD EASEMENT	19.5					WITH VARIANCE
VERTICAL (AT PROPOSED HORIZONTAL SETBACK)							
8	EXIST SPOT GRADE	575.33	575.15	575.08	586.66	586.64	AT ~ CENTER / ENTRY OF HOUSE, SUBJECT PROPERTIES AT PROPOSED HORIZ SETBACK (#5)
9	EXIST FF (LIVING AREA)		583.1	583.6	592.12	592.49	(1ST FLOOR) - 308 + 312 HAVE "REVERSE WALKOUTS"
10	CALC FFFH	7.31	7.95	8.52	5.46	5.85	
11	CALC FF	582.64					302 BASED ON 308 - 318; 304 BASED ON 308-320
12	EXIST BASEMENT/LOWER LEVEL ELEV		575.12	575.76	583.12	583.49	308 + 312 "REVERSE WALKOUTS"; 318 + 320 CALC'D AT ASSUMED 9 FT BELOW SURVEYED FF
13	CALC FFFH	2.04	(0.03)	0.68	5.46	5.85	ADJUSTED FOR #308 + # 312 AS "REVERSE WALKOUTS"
14	CALC FF	577.37					302 BASED ON 308 - 318; 304 BASED ON 308-320
15	FFFH = 24" > EXIST SPOT GRADE	2.00					CODE OPTION
16	CALC FF	577.33					24" > EXIST SPOT
17	100 YR HWEL	575.06	575.06	575.06	575.06	575.06	APPROX BACKWATER ELEV CONTROLLED BY EXISTING CULVERT UNDER RAILROAD
18	MSD CURRENT REGS, BF > 100 YR HWEL	1.0	1.0	1.0	1.0	1.0	IF NOT WALKOUT TO PREVENT HYDROSTATIC ISSUES AND SANITARY BACKUP, MSD REGS 5.010.07 (7)
19	MIN BF (PER MSD)	576.06	576.06	576.06	576.06	576.06	12" > HWEL (PROJECTED BACKWATER)
20	PRO BF ELEV	576.13					CONFORMS TO MSD REGULATIONS, ~ 1" > MIN
21	EXIST OR PRO BF/LL > 100 YR HWEL	1.07	0.06	0.7	8.06	8.43	HWEL AS PROJECTED BACKWATER, SEE SHEET C.5
22	EXIST OR PRO BF/LL VS MSD MIN BF	0.07	(0.94)	(0.30)	7.06	7.43	
23	MSD CURRENT REGS, LOW SILL > 100 YR HWEL	2.0	2.0	2.0	2.0	2.0	TO PREVENT DIRECT INFLOW, MSD REGS 5.010.07 (7)
24	MIN LOW SILL (PER MSD)	577.06	577.06	577.06	577.06	577.06	24" > HWEL (PROJECTED BACKWATER)
25	EXIST OR PRO LOW SILL	579.63	575.12	575.76	UNK	UNK	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
26	EXIST OR PRO LOW SILL > 100 YR HWEL	4.57	0.06	0.70	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
27	EXIST OR PRO LOW SILL VS MSD MIN LOW SILL	2.57	(1.94)	(1.30)	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
28	PRO FF	585.85					ESTABLISHED OFF BF (= MSD REGULATIONS)
29	CALC PRO FFFH	10.52					BASED ON PRO FF VS EXIST SPOT GRADES AT SETBACK
30	VARIANCE BASED ON #9 ABOVE	3.21					EXPECTED LIVING AREA (1ST FLOOR) 308 + 312
31	VARIANCE BASED ON #9 IF 12" UPWARD ADJUSTMENT	2.21					
32	CALC BF WITH 12" UPWARD ADJUSTMENT	573.92					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
33	CALC BF VS. MIN BF PER MSD	(2.14)					DOES NOT MEET MSD CRITERIA
34	VARIANCE BASED ON #12 ABOVE	8.48					BF / LL 308 + 312
35	VARIANCE BASED ON #12 IF 12" UPWARD ADJUSTMENT	7.48					
36	CALC BF WITH 12" UPWARD ADJUSTMENT	568.65					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
37	CALC BF VS. MIN BF PER MSD	(7.41)					DOES NOT MEET MSD CRITERIA
38	VARIANCE BASED ON #15 ABOVE	8.52					24" > EXIST SPOT
39	VARIANCE BASED ON #15 IF 12" UPWARD ADJUSTMENT	7.52					
40	CALC BF WITH 12" UPWARD ADJUSTMENT	568.61					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
41	CALC BF VS. MIN BF PER MSD	(7.45)					DOES NOT MEET MSD CRITERIA



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FFFH AND VARIANCES PER PROPOSED FRONT SETBACKS

Prepared By: WIND ENGINEERING COMPANY
 132 N. Kirkwood Road, Kirkwood, MO 63112
 Tel: 314.985.7210 Fax: 314.985.7292 Email: wind@windengr.com C.O.A. #E-1607-D

Prepared For: Hemrick Realty
 5496 HALLMARK BLVD, ST. LOUIS, MO 63119
 Tel: 314.454.4132 Email: info@hemrick.com C.O.A. #E-2003-790

No.	Date	Description	P.L.S. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C5.1
 MSD P: BASHAP:24H

EVALUATION OF PROPOSED FFFH AND ASSOCIATED VARIANCES BASED ON FRONT SETBACKS PER CODE CALCULATIONS AND PROPOSED FF (PER MSD REGULATIONS TO RESPECT HYDRAULIC CONCERNS)

302 GEORGE- AT CODE CALCULATED HORIZONTAL SETBACKS

NO.	ADDRESS>	302	308	312	318	320	COMMENTS
HORIZONTAL							
1	MIN SETBACK PER R4 ZONING DISTRICT	35	35	35	35	35	
2	EXIST SETBACKS PER SURVEYS		52.8	51.4	100.1	35.4	NOTED 302-318 RESPECTED PRIOR OPEN DRAINAGEWAY, SINCE ENCLOSED
3	MAX PROJECTION MSD EASEMENT	33.3	41.48	41.48	41.48	25.9	PER SURVEY OR AS APPROX PER MSD PLANS
4	CALC SETBACK PER CODE	68.1					
5	OMITTED						
6	OMITTED						
7	PRO SETBACK TO MSD EASEMENT	34.8					W/O VARIANCE
VERTICAL (AT CODE CALC'D HORIZONTAL SETBACK)							
8	EXIST SPOT GRADE	574.4	575.15	575.08	586.66	586.64	AT ~ CENTER / ENTRY OF HOUSE, SUBJECT PROPERTIES AT CODE-CALC'D HORIZ SETBACK (#4)
9	EXIST FF (LIVING AREA)		583.1	583.6	592.12	592.49	(1ST FLOOR) - 308 + 312 HAVE "REVERSE WALKOUTS"
10	CALC FFFH	7.31	7.95	8.52	5.46	5.85	
11	CALC FF	581.71					302 BASED ON 308 - 318; 304 BASED ON 308-320
12	EXIST BASEMENT/LOWER LEVEL ELEV		575.12	575.76	583.12	583.49	308 + 312 "REVERSE WALKOUTS"; 318 + 320 CALC'D AT ASSUMED 9 FT BELOW SURVEYED FF
13	CALC FFFH	2.04	(0.03)	0.68	5.46	5.85	ADJUSTED FOR #308 + # 312 AS "REVERSE WALKOUTS"
14	CALC FF	576.44					302 BASED ON 308 - 318; 304 BASED ON 308-320
15	FFFH = 24" > EXIST SPOT GRADE	2.00					CODE OPTION
16	CALC FF	576.40					24" > EXIST SPOT
17	100 YR HWEL	575.06	575.06	575.06	575.06	575.06	APPROX BACKWATER ELEV CONTROLLED BY EXISTING CULVERT UNDER RAILROAD
18	MSD CURRENT REGS, BF > 100 YR HWEL	1.0	1.0	1.0	1.0	1.0	IF NOT WALKOUT TO PREVENT HYDROSTATIC ISSUES AND SANITARY BACKUP, MSD REGS 5.010.07 (7)
19	MIN BF (PER MSD)	576.06	576.06	576.06	576.06	576.06	12" > HWEL (PROJECTED BACKWATER)
20	PRO BF ELEV	576.13					CONFORMS TO MSD REGULATIONS, ~ 1" > MIN
21	EXIST OR PRO BF/LL > 100 YR HWEL	1.07	0.06	0.7	8.06	8.43	HWEL AS PROJECTED BACKWATER, SEE SHEET C.5
22	EXIST OR PRO BF/LL VS MSD MIN BF	0.07	(0.94)	(0.30)	7.06	7.43	
23	MSD CURRENT REGS, LOW SILL > 100 YR HWEL	2.0	2.0	2.0	2.0	2.0	TO PREVENT DIRECT INFLOW, MSD REGS 5.010.07 (7)
24	MIN LOW SILL (PER MSD)	577.06	577.06	577.06	577.06	577.06	24" > HWEL (PROJECTED BACKWATER)
25	EXIST OR PRO LOW SILL	579.63	575.12	575.76	UNK	UNK	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
26	EXIST OR PRO LOW SILL > 100 YR HWEL	4.57	0.06	0.70	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
27	EXIST OR PRO LOW SILL VS MSD MIN LOW SILL	2.57	(1.94)	(1.30)	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
28	PRO FF	585.85					ESTABLISHED OFF BF (= MSD REGULATIONS)
29	CALC PRO FFFH	11.45					BASED ON PRO FF VS EXIST SPOT GRADES AT SETBACK
30	VARIANCE BASED ON #9 ABOVE	4.14					EXPECTED LIVING AREA (1ST FLOOR) 308 + 312
31	VARIANCE BASED ON #9 IF 12" UPWARD ADJUSTMENT	3.14					
32	CALC BF WITH 12" UPWARD ADJUSTMENT	572.99					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
33	CALC BF VS. MIN BF PER MSD	(3.07)					DOES NOT MEET MSD CRITERIA
34	VARIANCE BASED ON #12 ABOVE	9.41					BF / LL 308 + 312
35	VARIANCE BASED ON #12 IF 12" UPWARD ADJUSTMENT	8.41					
36	CALC BF WITH 12" UPWARD ADJUSTMENT	567.72					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
37	CALC BF VS. MIN BF PER MSD	(8.34)					DOES NOT MEET MSD CRITERIA
38	VARIANCE BASED ON #15 ABOVE	9.45					24" > EXIST SPOT
39	VARIANCE BASED ON #15 IF 12" UPWARD ADJUSTMENT	8.45					
40	CALC BF WITH 12" UPWARD ADJUSTMENT	567.68					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
41	CALC BF VS. MIN BF PER MSD	(8.38)					DOES NOT MEET MSD CRITERIA



DISCLAIMER
 THESE DRAWINGS ARE FOR
 AGENCY REVIEW AND UNTIL
 APPROVED ARE NOT FOR
 CONSTRUCTION.

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FFFH AND VARIANCES CODE-CALCULATED FRONT SETBACK

Prepared by: WIND ENGINEERING COMPANY
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.985.7592
 Fax: 314.985.7592
 Email: wind@windengr.com
 G.O.A. #E-1607-D

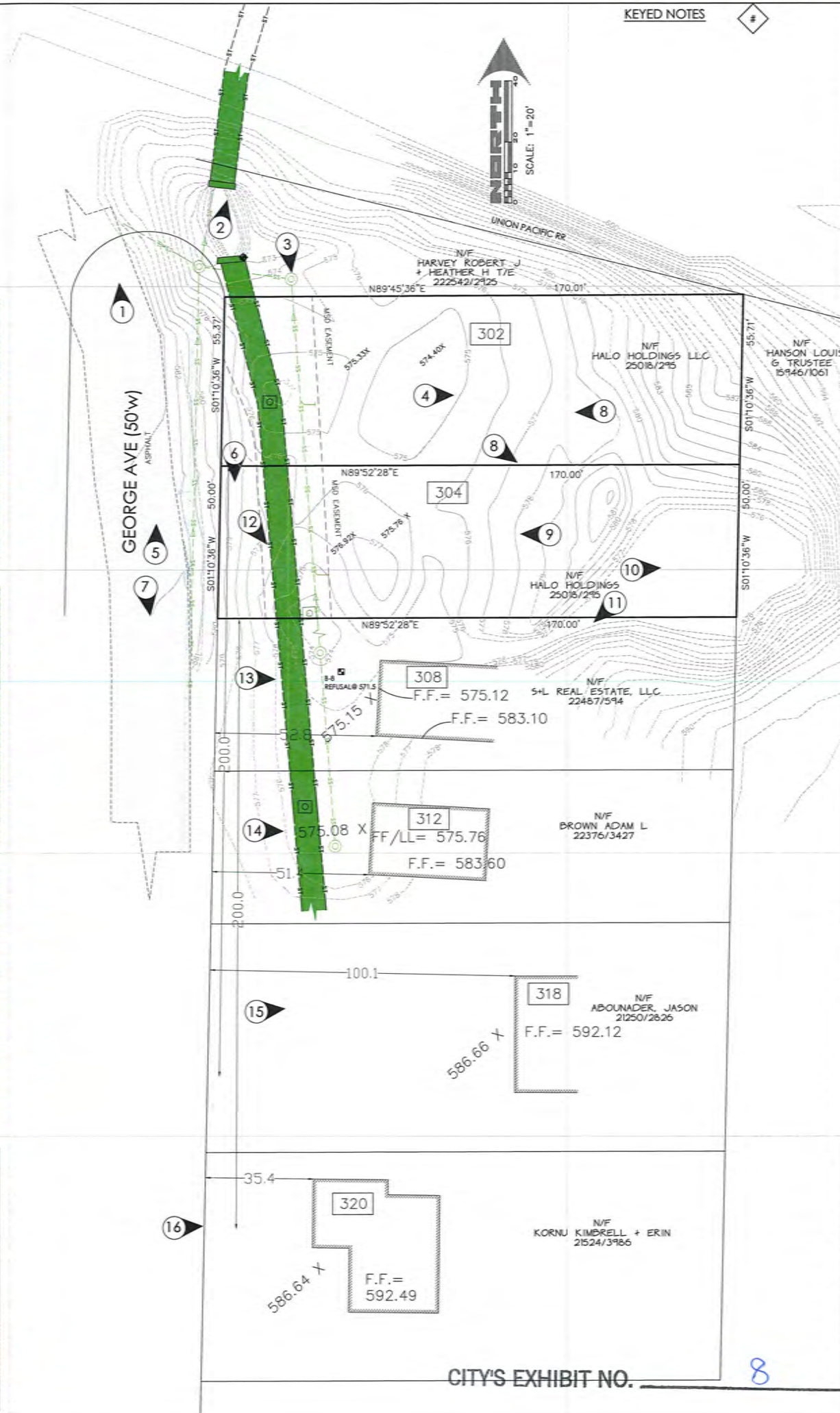
Presented for: Hennick Realty
 MR. STEVE HAYES
 546 HAINGARTNER ROAD, SUITE 123
 ST. LOUIS, MO 63129
 E-STEVE@HENNICKREALTY.COM
 MO 014 454-8111
 O: (314) 286-3799

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE
 COPYRIGHTED AND REMAIN THE PROPERTY
 OF WIND ENGINEERING. THEY MAY NOT
 BE USED OR REPRODUCED WITHOUT
 WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C5.2
 MSD P. BASBAP-249

RECEIVED
 OCT 11 2021
 CITY OF KIRKWOOD
 PUBLIC WORKS DEPARTMENT



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

Prepared By: **wind**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Tel: 314.985.7892
 Fax: 314.985.7892
 Email: wind@windengr.com
 C.O.A. #E-1807-D

Prepared For:
Henrick Realty
 496 BALMORNER ROAD/SUITE 133
 ST. LOUIS, MO 63119
 e: STRETS@HENRICKREALTY.COM
 M: 314.456.4132
 D: (314) 263.7398

302 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 EXISTING CONDITIONS INCLUDING ADJOINING HOMES

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C3.1

MSD P. BASEMAP: 24K

CITY'S EXHIBIT NO. 8

Case Summary

Case Number		29-2021			
Zoning District		R-4			
Project Address		304 George Avenue			
Applicant Name		Steve Hayes, Halo Holdings			
Property Owner		same			
Article	VI	Section	25-48	Sub-Section	25-48(b)(2)(ii) & Table 48-3
Variance Request		Front yard setback for new single-family residence			
Required		59.93			
Proposed		52.8'			
Variance		7.13			
Article	VI	Section	25-48	Sub-Section	25-48(c)(3)(i)(b)
Variance Request		Finished first floor height for new single family residence			
Required		579.91 (576.92' spot grade elevation + 2.99)			
Proposed		585.85			
Variance Requested		5.94'			

History of address: There has never been a house built on this site.

Summary Approved by: AGL

Labels printed _____

Letter mailed on _____

300 ft. notice mailed on _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122

***An appointment with staff is required** prior to the submittal of a variance application to assist in preparing your submittal information. Please contact Amy Lowry, Planner II at 314-822-5815 to schedule an appointment.

Action Requested:

Variance of Zoning Code

- \$240** non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools
- \$500** non-refundable filing fee for all others not listed above,
- \$50** fee for each additional variance request on the same application.

Variance of Fence Code - \$200 non-refundable filing fee (per Code §5-45(c))

Appeal the decision of the Building Commissioner - \$240 non-refundable filing fee

Appeal the interpretation of the Zoning Code - \$500 non-refundable filing fee

Project Address 304 George Avenue

Type of Work: New Construction Addition Other _____

Type of Structure: Single-family Multi-family Commercial Accessory
 Other _____

Has a previous variance application been filed on these premises within the last three (3) years?
 Yes No *If yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name Steve Hayes / Halo Holdings LLC **Phone** 314-224-6656

Address 3726 Gumtnelln

City/State/Zip St. Louis, MO 63129 **E-mail** Steve@iconicstl.com

Applicants Signature [Signature] **Date** 9/21/2021

Property Owner Information (if different from above):

Name _____ **Phone** _____

Address _____

City/State/Zip _____ **E-mail** _____

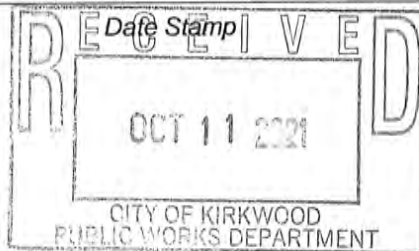
City Use Only

Meeting Date: Nov. 8, 2021

Case #: 29-2021

Zoning District: R-4

Received by: J. Mann



CITY'S EXHIBIT NO. 1



122 North Kirkwood Road
 Kirkwood, MO 63122-4302
 T: (314) 965-wind



October 11, 2021

To: City of Kirkwood
 Board of Adjustment (BOA)

Re: Variance request(s) 304 George Avenue

Dear Members of the BOA:

On behalf of Halo Holdings, LLC we respectfully request the Board grant FFFH and front setback variances as detailed on the plans that accompany this submittal.

FFFH:

The elevation of the proposed house was developed to respect MSD criteria with regard to its vertical relationship to the 100-year backwater elevation created at the entrance to a box culvert beneath the railroad.

Required FFFH: 2.99', elevation=579.91'

Requested FFFH: 8.93', elevation=585.85'

Variance needed: 5.94'

Front setback:

The existing homes to the south along George Avenue (no homes to north, street ends at Union Pacific Railroad) were logically setback from George to adapt to a prior open drainageway that c. mid-1990's MSD enclosed in a box culvert. Calculating a setback for the subject lot results in the pro home being positioned off George to an extent that the rear of the home is within ~ 5 feet of the top of slope of a low area that has to be maintained to drain adjoining properties. It is noted the proposed setback (52.8') is consistent with that as exists on the adjoining home at 308 George, is ~18 ft greater than the setback of 35 ft for the R4 zoning district, and matches a separate, concurrent request for 302 George.

Required front yard setback: 59.9'

Requested front yard setback: 52.8'

Variance needed: 7.1'

Attached to this letter is a copy of the Narrative and Activity Table as included with the drawings.

Acknowledging the basis for our request may be somewhat out of the ordinary when compared to other requests you may receive, we look forward to explaining our findings and rationale in more detail at the upcoming BOA meeting.

Thank you.

Wind Engineering Company

Daniel C. Wind, Jr., P.E.
dwind@windengr.com

c: Steve Hayes, Halo Holdings, LLC

CITY'S EXHIBIT NO. 2

NARRATIVE 304 GEORGE AVENUE

PRIOR TO MSD'S ENCLOSING A CREEK THAT RAN +/- PARALLEL ALONGSIDE AND EAST OF GEORGE AVENUE, THE HOMES THAT WERE CONSTRUCTED EAST OF GEORGE WERE SITUATED AWAY FROM THE CREEK CHANNEL AND ELEVATED SOME AMOUNT ABOVE THE LOW AREA TO RESPECT THE CHANNEL PROPER AND THE SPREAD OF WATER DURING HEAVY RAIN EVENTS. IT IS NOTED THE TRIBUTARY DRAINAGE AREA AT THIS LOCATION GENERALLY EXTENDS SOUTH TO ROSE HILL AT MERAMEC C.C., EAST TO GEYER, AND WEST TO COUCH AVENUE AT ABERDEEN HEIGHTS, AND IS APPROX 135 ACRES IN SIZE. THE DRIVEWAYS SERVING THESE HOMES HAD VARIOUS BRIDGES AND CULVERTS TO CROSS THE CREEK. MSD'S WORK IN THE MID-1990'S ENCLOSED THE CHANNEL WITH AN 8' X 4' BOX CULVERT AND FILLED THE LOW AREAS ~ 5 AND 8 FEET. IT IS REASONABLE TO EXPECT THAT HAD THE MSD WORK BEEN IN PLACE PRIOR TO THE HOMES BEING CONSTRUCTED (*THOSE HOMES THAT EXISTED AT THE TIME OF THE MSD IMPROVEMENTS*), THE X-Y-Z LOCATION OF THE HOMES WOULD HAVE BEEN DIFFERENT, I.E. THE CONTROLS IMPOSED BY THE OPEN CHANNEL WERE NOT A CONCERN. IS NOTED THAT #320 GEORGE WAS BUILT POST-MSD WORK (PER COUNTY RECORDS, **SEE TABLE BELOW**, THE HORIZONTAL LOCATION RESPECTED THE R-4 ZONING SETBACK), AND THE ELEVATION WAS ADAPTED TO RESPECT THE LOT-SPECIFIC TOPOGRAPHY (THE REAR OF THE HOUSE IS ~ 10 FT ABOVE GEORGE AVENUE, A "SPLIT FOYER" TYPE HOME BUILT LIKELY TO ATTAIN REASONABLE GRADE ON DRIVEWAY).

DUE TO LIMITATIONS ON THE SIZE OF THE TRIBUTARY UPSTREAM DRAINAGE AREA, FEMA'S DETAILED FLOOD STUDIES (THAT DEVELOP/RESULT IN "REGULATORY" BASE FLOOD ELEVATIONS) WERE STOPPED AT THE NORTH SIDE OF THE UNION PACIFIC RAILROAD RIGHT OF WAY. HOWEVER IT IS NOTED THAT ANY CHANNEL OR DRAINAGE SYSTEM, REGARDLESS OF THE SIZE OF THE TRIBUTARY DRAINAGE AREA, WILL HAVE A 100-YEAR HIGHWATER ELEVATION. FEMA GENERALLY STOPS THEIR DETAILED STUDIES, AGAIN FOR REGULATORY (INSURANCE) PURPOSES, WHEN THE DRAINAGE AREA FALLS BELOW 1 SQUARE MILE (640 AC) OR BELOW A CERTAIN DEPTH OF FLOW.

THE MSD CULVERT MENTIONED ABOVE DISCHARGES TO AN EXISTING CULVERT THAT CROSSES BENEATH THE UNION PACIFIC RAILROAD TO THE NORTH. HYDRAULIC STUDIES INDICATE THE 100-YEAR HIGHWATER AT THE ENTRANCE (SOUTH SIDE) TO THIS CULVERT CREATES A BACKWATER ELEVATION OF ~ 575.

THE REQUESTED VARIANCES TO REALIZE PROPOSED ELEVATIONS AND SETBACKS FOR SUBJECT PROPERTY **304 GEORGE** WAS DEVELOPED AROUND THE CURRENT IN-PLACE CONDITIONS (CREEK CHANNEL NOW ENCLOSED, MSD EASEMENT IN PLACE), ELEVATIONS AT THE REAR OF THE PROPERTIES. AND RESPECT MSD'S CRITERIA FOR BASEMENT FLOOR AND LOW SILL (LOW OPENING) ELEVATIONS VS. THE CALCULATED 100 YEAR HIGHWATER.

IT IS FURTHER NOTED THE PROPOSED SETBACK AND BASEMENT ELEVATION ARE RELATIVELY CONSISTENT WITH THAT AS NOW EXISTS FOR THE TWO (2) HOMES IMMEDIATELY TO THE SOUTH, # 308 AND # 312 GEORGE AVENUE, AND THAT NO NEW HOMES ARE EXPECTED TO BE BUILT FARTHER NORTH (BESIDES CONCURRENT REQUEST FOR 302 GEORGE) DUE TO THE RAILROAD (GEORGE AVE DOES NOT CONTINUE NORTH) AND THE GEOMETRY OF REMAINING (INCL PT REMNANT) PARCEL AS ADJOINS 302 GEORGE (EXTENSION OF 291 GEORGE FROM THE WEST.)

YEAR	ACTIVITY (PER AVAIL RECORDS)	SETBACK
1961	HOUSE CONSTRUCTED #308 GEORGE	52.8
1963	HOUSE CONSTRUCTED #312 GEORGE	51.4
1978	HOUSE CONSTRUCTED #318 GEORGE	100.1
MID 1990'S	MSD IMPROVEMENTS	
2000	HOUSE CONSTRUCTED #320 GEORGE	35.4
2021	PROPOSED SETBACK #304 GEORGE	52.8



WHERE COMMUNITY AND SPIRIT MEET®

October 25, 2021

Steve Hayes
Halo Holdings, LLC
3726 Gumtree Ln.
St Louis, MO 63129

Sent via email to: steve@iconicstl.com

RE: Variance Requests
Case No. 29-2021
304 George Avenue
Zoning District R-4

Dear Mr. Hayes:

Your variance request from the Kirkwood Board of Adjustment has been set for Public Hearing on November 8, 2021, at 7:00 p.m. **This meeting will be in person at Kirkwood City Hall.** The Board of Adjustment is a duly constituted body with certain powers to grant a variance, which will permit a deviation from fixed standards, when the applicant can demonstrate to the Board that the standards set forth below will result in a practical difficulty. These powers are set forth in Article II, Section 25-24 of the Zoning and Subdivision Code of the City of Kirkwood; please refer to that section for any further information as to the powers of the Board as they apply to your variance.

You or your representative shall, at the time and place above, present all evidence that may have a bearing upon this case and that you believe to be relevant. This may include oral testimony under oath as well as the introduction of any documents or other records that you believe to be related to the proceedings. The burden of proof lies with the applicant. All proceedings before the Board are formal in that all testimony is under oath and a court reporter will make a verbatim transcript of all matters that are presented before the Board.

Article VI, Section 25-48, Sub-section 25-48(b)(2)(ii) & Table 48-3 of the Zoning and Subdivision Code requires that the front yard setback be determined by averaging the front yard setbacks of every improved lot within 200 feet. In this particular instance, a front rear yard setback of 59.93 feet is required. The new single-family residence you wish to construct will provide a front yard setback of 52.8 feet. This is 7.13 feet closer to the front property line than the Zoning and Subdivision Code allows.

Article VI, Section 25-48, Sub-Section 25-48(c)(3)(i)(b) of the Zoning Code requires that the finished first floor height be determined by averaging the existing finished first floor

CITY'S EXHIBIT NO. 3

heights of every improved lot within 200 feet. In this particular instance, a finished first floor height of 579.91 feet is required. The new single family residence you wish to construct will provide a finished first floor height of 585.85 feet. This is 5.94 feet higher than the Zoning Code allows.

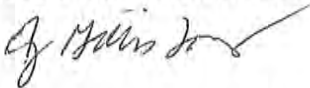
Article II, Section 25-24(c)(1) of the Zoning and Subdivision Code allows the Board of Adjustment to consider the following factors to determine whether a practical difficulty exists that would justify approval of an area or dimensional variance:

- (i) Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions;
- (ii) Whether the variance is not substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- (iii) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- (iv) Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- (v) Whether the property owner's request can be obviated through some method other than a variance;
- (vi) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance; and
- (vii) Whether a strict interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this code.

I have attached the agenda for the meeting. Please contact me if you have any questions with regard to this matter before the public hearing.

Sincerely,

CITY OF KIRKWOOD



Amy Gillis Lowry, AICP
Planner II

Encl. Meeting Agenda

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Stephen Pope** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **October 22, 2021** edition and ending with the **October 22, 2021** edition, for a total of 1 publications:

10/22/2021

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT

CITY OF KIRKWOOD, MISSOURI

The Board of Adjustment of the City of Kirkwood will hold a Public Hearing in the City Hall Council Chambers, 139 S. Kirkwood Road, on November 8, 2021, at 7:00 P.M. to consider the following:

New Business

Case No. 26-2021 - 429 Miriam Ave. - rear yard setback variance for an addition.

Case No. 27-2021 - 886 Dewberry Ct. - rear yard set back variance for an addition.

Case No. 28-2021 - 302 George Ave. - front yard setback and finished first floor height variances for new single-family residence

Case No. 29-2021 - 304 George Ave. - front yard setback and finished first floor height variances for new single-family residence

Case No. 30-2021 - 1231 Simmons Ave. - front yard encroachment variance for a porch

Such hearing may be adjourned from time to time until completed.

Questions may be directed to Amy Lowry at 314-822-5815 or lowryag@kirkwoodmo.org.

BY ORDER OF: Joe Roeser, Secretary - Board of Adjustment Kirkwood, Missouri, October 22, 2021. The City of Kirkwood is interested in effective communication for all persons.

Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

12046977 County Oct 22, 2021

Stephen Pope

Stephen Pope

Subscribed & sworn before me this 22nd day of Oct, 2021
(SEAL)

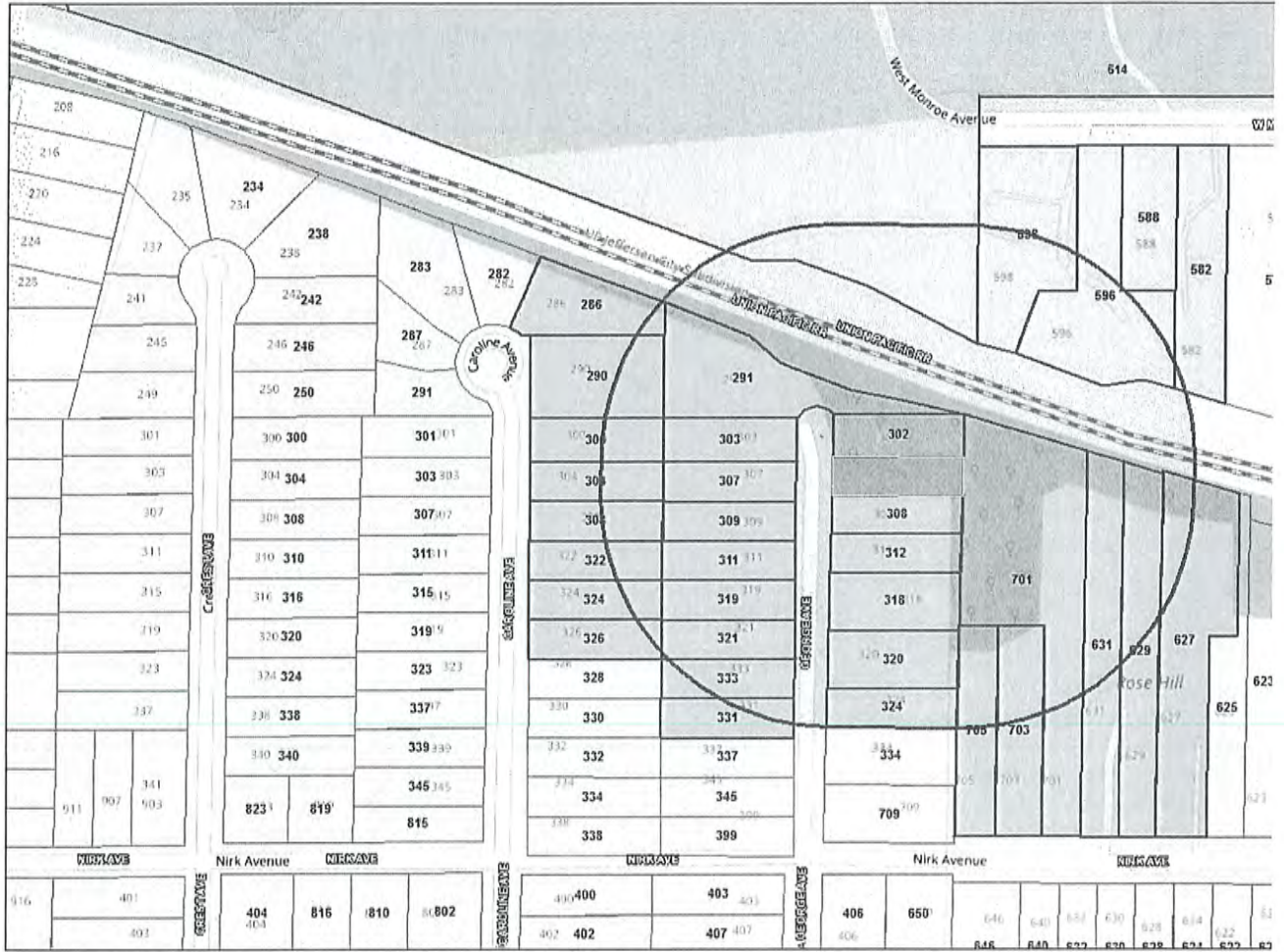
Chanel Jones

Notary Public

CHANEL JONES
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Louis County
My Commission Expires: August 08, 2022
Commission Number: 14887721

CITY'S EXHIBIT NO. 4

City of Kirkwood Basemap



10/21/2021 10:17:57 AM

- Parcels
- Districts
- Street Centerline
- National Register
- Landmarks
- Local Register
- Landmarks

CITY'S EXHIBIT NO. 5

MARTIN ROBERT L & JOANNE ...
324 GEORGE AVE
SAINT LOUIS, MO 63122

CRETS RYAN D & KATHERINE E...
286 CAROLINE AVE
SAINT LOUIS, MO 63122

CRIPPS BARBARA
300 CAROLINE AVE
SAINT LOUIS, MO 63122

KORNU KIMBELL & ERIN H/W
320 GEORGE AVE
SAINT LOUIS, MO 63122

HANSON LOUIS G TRUSTEE
3007 ST MARYS LOOP
VILLA RIDGE, MO 63089

STECK ANDREW BRENTON & M...
304 CAROLINE AVE
SAINT LOUIS, MO 63122

HARRES MICHAEL AND DEBRA ...
629 NIRK AVE
SAINT LOUIS, MO 63122

DECLUE JOHN P & CAMELA D T...
703 NIRK AVE
SAINT LOUIS, MO 63122

ANGERS KERRY
308 CAROLINE AVE
SAINT LOUIS, MO 63122

RICKS THOMAS H
1600 S DOUGLASS RD
ANAHEIM, CA 92806

ASSESSOR INFORMATION WIT...
705 NIRK AVE
SAINT LOUIS, MO 63122

MBK TRUST
322 CAROLINE AVE
SAINT LOUIS, MO 63122

BRIARCLIFF HOMES INC
PO BOX 0544
FENTON, MO 63026

ABOUNADER JASON
318 GEORGE AVE
SAINT LOUIS, MO 63122

GOTTSCHALK JEFF & APRIL K ...
324 CAROLINE AVE
SAINT LOUIS, MO 63122

KELLOGG ADAM
598 W MONROE AVE
SAINT LOUIS, MO 63122

ASSESSOR INFORMATION WIT...
427 W WOODBINE AVE
SAINT LOUIS, MO 63122

DONAHUE NANCY
326 CAROLINE AVE
SAINT LOUIS, MO 63122

NIEBURG CHRISTOPHER S & A...
627 NIRK AVE
SAINT LOUIS, MO 63122

S&L REAL ESTATE L L C
340 W JEFFERSON AVE
SAINT LOUIS, MO 63122

RICE BLANCHE EVELYN
333 GEORGE AVE
SAINT LOUIS, MO 63122

PICKETT JEREMY P & JESSICA ...
596 W MONROE AVE
SAINT LOUIS, MO 63122

BRIARCLIFF HOMES INC
PO BOX 0544
FENTON, MO 63026

BRUGGER JEREMIAH A & NATA...
3876 BARQUE CT
NAPLES, FL 34120

KIRKWOOD PARK LLC
588 W MONROE AVE
SAINT LOUIS, MO 63122

KIRKWOOD CITY OF MISSOURI...
139 S KIRKWOOD RD
SAINT LOUIS, MO 63122

LEE THOMAS EDWARD
PO BOX 220201
SAINT LOUIS, MO 63122

LAWTON ROBERT C
582 W MONROE AVE
SAINT LOUIS, MO 63122

ASSESSOR INFORMATION WIT...
290 CAROLINE AVE
SAINT LOUIS, MO 63122

SCHINZING PROPERTIES 307 L...
654 N KIRKWOOD RD
SAINT LOUIS, MO 63122

PAUL CARL H ODILIA G HWF
319 GEORGE AVE
SAINT LOUIS, MO 63122

HIRSCH RYAN B & SARAH B T/E
303 GEORGE AVE
SAINT LOUIS, MO 63122

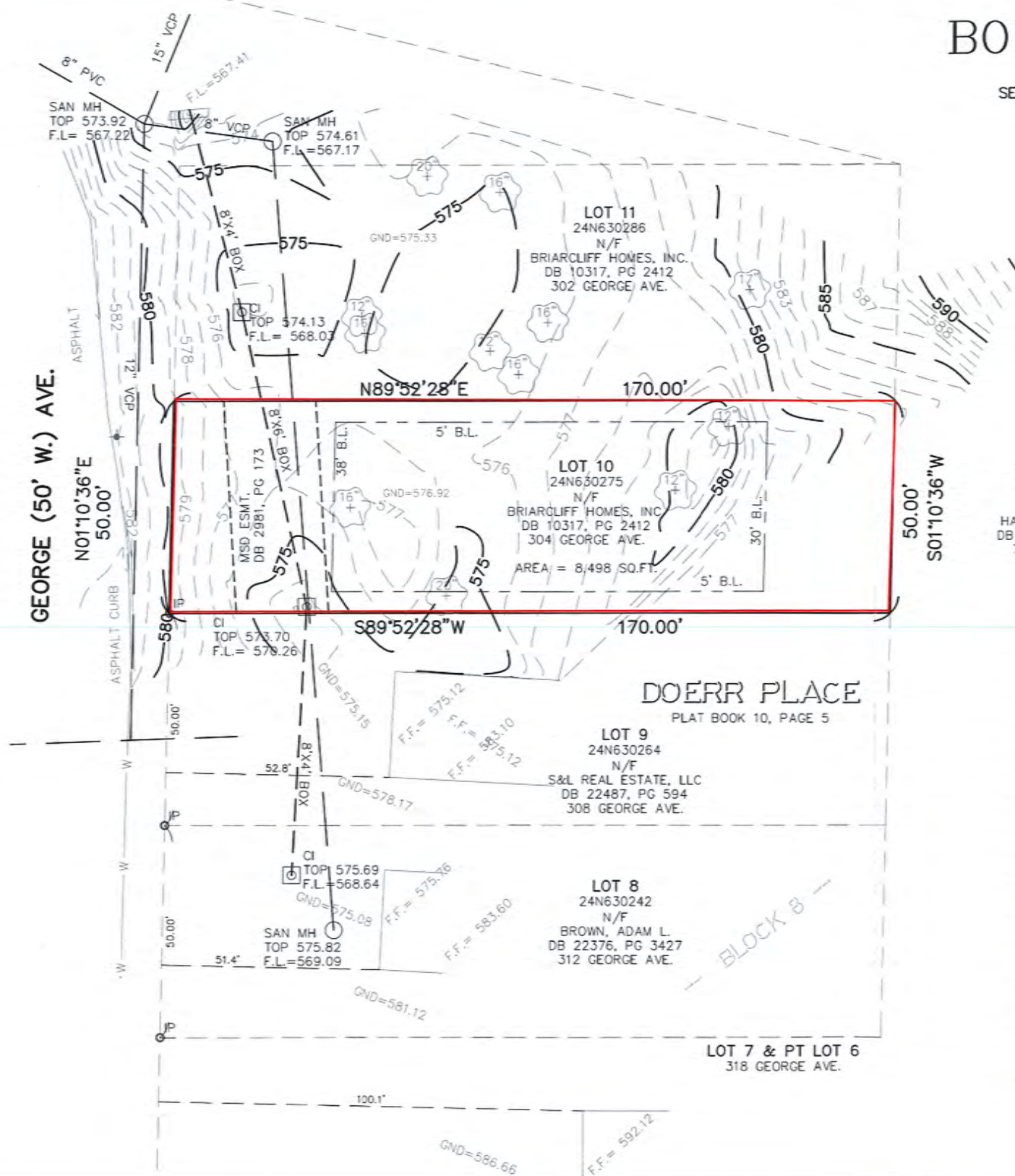
POE PROPERTIES LLC
822 WAYFARER DR
BALLWIN, MO 63021

RRJ LLC
2 TIFFANY LYNN CRES
WENTZVILLE, MO 63385

HARVEY ROBERT J & HEATHER...
291 GEORGE AVE
SAINT LOUIS, MO 63122

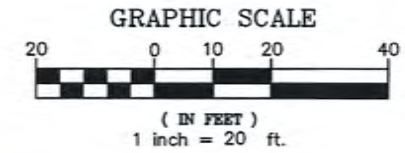
BOUNDARY SURVEY

LOT 10 IN BLOCK 8 OF DOERR PLACE
SECTION 2, TOWNSHIP 44 NORTH, RANGE 5 EAST
ST. LOUIS COUNTY, MISSOURI



LEGEND

- IP DENOTES FOUND IRON ROD UNLESS NOTED OTHERWISE
- SET SET 5/8" IRON ROD WITH CAP
- - - 582 EX. CONTOURS (1')
- 575 EX. CONTOURS (5')



ROSE HILL
BY STEEN
PLAT BOOK 3, PAGE 59

PRT. LOT 1
24N630660
N/F
HANSON, LOUIS G.
DB 15946, PG 1061
701 NIRK AVE.



Surveyor's Notes

- This Property Boundary Survey was prepared with the benefit of a title report prepared by Old Republic National Title Insurance Company, File No.: SC210852 with an Commitment date of June 4, 2021, 8:00 am. Issued through the office of True Title Company, LLC.
- Basis of bearings - Survey bearing system was adopted from "Doerr Place" according to the plat thereof recorded in Plat Book 10, Page 5, St. Louis County Recorder's Office.
- Source of Record Title: Lot 10 in Block 8 of Doerr Place, according to the plat thereof recorded in Plat Book 10, Page 5, St. Louis County Recorder's Office, conveyed to Briarcliff Homes, Inc. by a Deed recorded in Deed Book 10317, Page 2412 of the St. Louis County Recorder's Office.

Surveyor's Certificate

This is to certify to Old Republic National Title Insurance Company & True Title Company, LLC that we have during the month of July, 2021, at the request of Steve Hayes of Halo Holdings, LLC, performed an Urban Property Boundary Survey of Lot 10 in Block 8 of Doerr Place, St. Louis County, Missouri, as shown hereon. The results of said survey is, to the best of my knowledge and belief, correctly represented on the above plat and was performed in accordance with the current requirements of the Missouri Standards for Property Boundary Surveys as set forth by the Missouri Department of Agriculture, Division of Land Survey, as adopted by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects.

IN WITNESS WHEREOF, I have signed and sealed the foregoing this 4th day of October, 2021.

DES Land Surveying, LLC
LS#2012000030
2612 Cynthia Ct.
Farmington, Mo. 63640
(636)-208-8511

By: Donald E. Simms
Donald E. Simms PLS
Missouri Land Surveyor #2005019218

CITY'S EXHIBIT NO. 6

UNDERGROUND UTILITY NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

BOUNDARY SURVEY
304 GEORGE AVENUE

No.	DATE	REVISIONS DESCRIPTION	DRAWN	CHKD

PREPARED FOR

Steve Hayes
Halo Holdings LLC

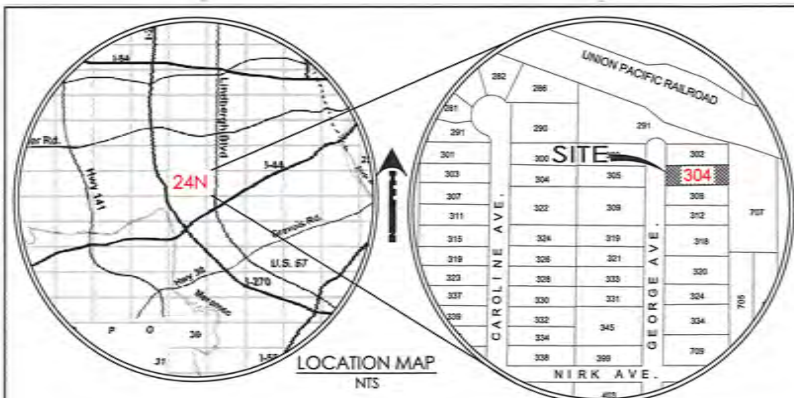


DES Land Surveying, LLC
LS#2012000030
2612 Cynthia Ct.
Farmington, Mo. 63640
Cell: (636) 208-8511
des_land@yahoo.com

DRAWN BY
DES
CHECKED BY
DES

PN # 2021125
10/04/2021
C2

LOT 5 & PT LOT 6
320 GEORGE AVE.



SITE PLANS TO ACCOMPANY A REQUEST TO THE BOARD OF ADJUSTMENT FOR SELECT VARIANCES AT **304 GEORGE AVE** CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO 63122

PERTINENT DATA

SITE ADDRESS : 304 GEORGE AVE
 TOTAL AREA OF TRACT : 0.20 AC
 LOCATOR NUMBER : 24N630275
 ZIP CODE : 63122
 WUNNENBERG : U25-34
 FIRE DISTRICT : KIRKWOOD
 SCHOOL DISTRICT : KIRKWOOD
 MUNICIPALITY : KIRKWOOD
 SEWER DISTRICT : MSD
 RECORD OWNERS OF TRACT : HALO HOLDINGS LLC
 WATERSHED : SUGAR CREEK/GRAPE MERAMEC RIVER
 FIRM PANEL : 29189C0308K
 ZONING : R4

INDEX OF SHEETS

SHEET	DESCRIPTION
C1	TITLE SHEET
C2	SURVEY (BY OTHERS)
C3.1-2	EXISTING CONDITIONS AND LIMITS HWEL
C4.1-3	WATERSHED STUDY, 100-YEAR HWEL CALCS, MSD PRIOR PLANS, FEMA/SEMA INFO
C5.1-2	XLS TABLES FFH VS SETBACKS, VARIANCES
C6	PROPOSED SITE PLAN (COMBINED BOTH LOTS)

OCT 11 2021
CITY OF KIRKWOOD
PUBLIC WORKS



DISCLAIMER

THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

LEGAL DESCRIPTION

LOT 10 IN BLOCK 8 OF DOERN PLACE SECTION 2, TOWNSHIP 44 NORTH, RANGE 5 EAST, ST. LOUIS COUNTY, MO

SOURCE OF BOUNDARY AND TOPOGRAPHIC INFORMATION

BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY DES LAND SURVEYING, INC.

ADDITIONAL INFORMATION FROM AVAILABLE RECORDS AND SITE RECONNAISSANCE.

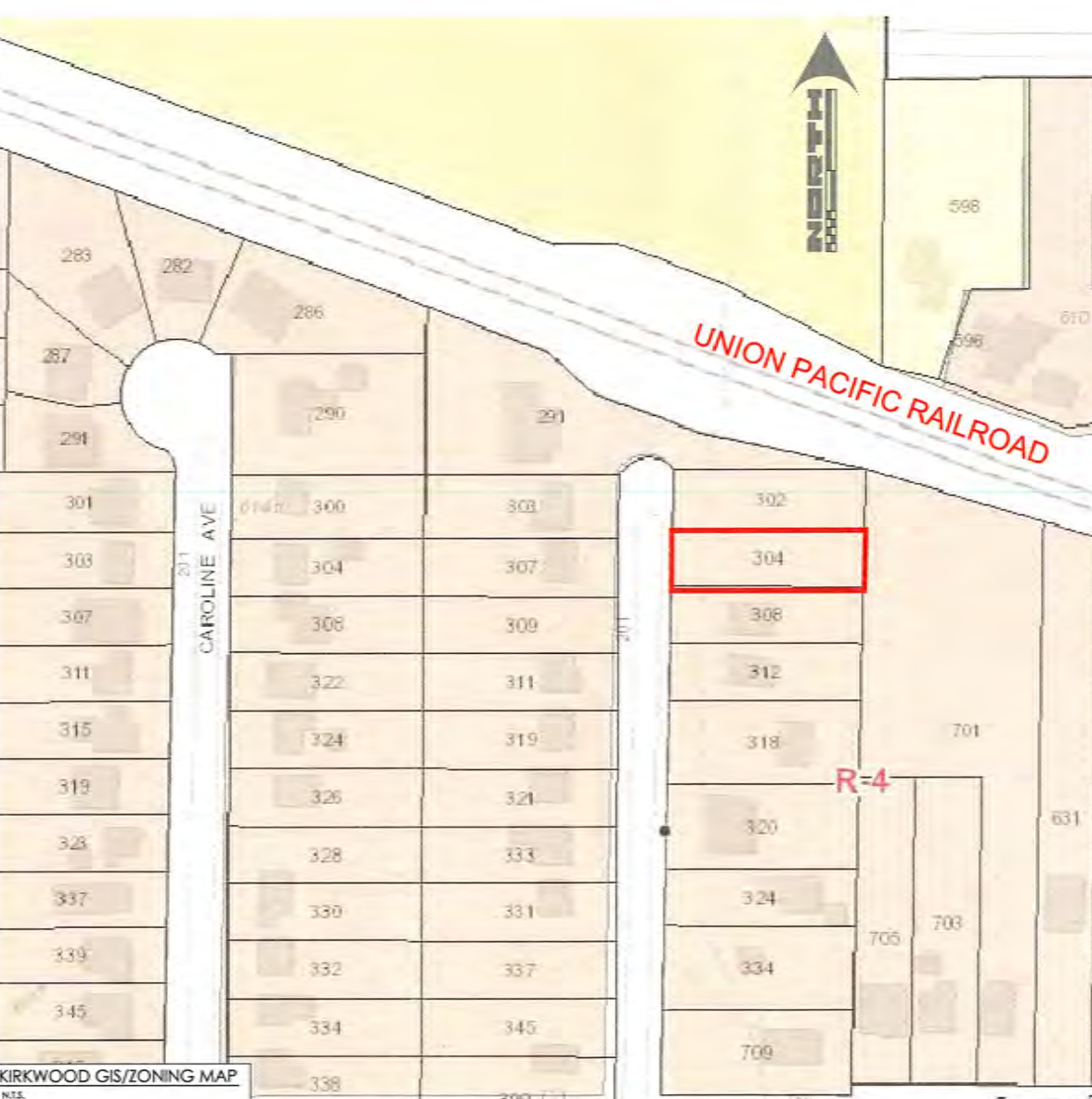
BENCHMARK

PROJECT BENCHMARK: TOP OF HEADWALL FOR MSD STRUCTURE 24N2-2110, ELEVATION=572.45'

- UTILITIES/SERVICE PROVIDERS**
- | | |
|------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CABLE TV
CHARTER COMMUNICATIONS
191 CHARTER COMMUNICATIONS
TOWN AND COUNTRY, MO 63017
PHONE: 636.220.2174 | TELEPHONE
AT&T TELEPHONE COMPANY
13075 MANCHESTER ROAD
DES PERES, MO 63131
ATTN: MR. DOUG LAMPERT
PHONE: 314.937.3748; (314) 963-3824 |
| ELECTRIC
KIRKWOOD ELECTRIC COMPANY
212 S. TAYLOR AVE
KIRKWOOD, MO 63122
PHONE: (314) 852-8942 | WATER
CITY OF KIRKWOOD
139 SOUTH KIRKWOOD RD.
KIRKWOOD, MO 63122
PHONE: 314.984.5956 |
| SEWER
MSD
2330 MARKET STREET
ST. LOUIS, MO 63103
PHONE: 314.788.6280 | FIRE
KIRKWOOD FIRE DEPARTMENT
11804 BIG BEND
KIRKWOOD, MO 63122
PHONE: 314.984.5906 |
| GAS
SPRE INC
720 OLIVE STREET
ST. LOUIS, MO 63101
PHONE: 314.621.6760 | |

EXISTING CONDITIONS

THIS DRAWING REFLECTS THE RESULTS OF TOPOGRAPHIC AND BOUNDARY SURVEYS (AS MAY BE BASED UPON FIELD WORK, AVAILABLE RECORDS, OR A COMBINATION THEREOF), AND RESEARCH OF AVAILABLE UTILITY RECORDS, AS MAY OR MAY NOT HAVE BEEN SUPPLEMENTED BY SITE RECONNAISSANCE, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, CURRENT AS OF OCTOBER 2021. PUBLICATION OF THIS DRAWING DOES NOT CONSTITUTE OR IMPLY A WARRANTY OR GUARANTEE OF SITE CONDITIONS. IT IS NOT INTENDED AND SHOULD NOT BE USED TO SUBSTITUTE OR REPLACE THE INVESTIGATIVE EFFORTS OF ANY DESIGN PROFESSIONAL CONTRACTOR (PRIME OR SUB), OWNER, LENDER, END USER, PURCHASER OR ANYONE ELSE NOW HAVING OR AS THEY MAY HAVE AN INTEREST IN THE PROPERTY, SAME TO PERFORM THEIR OWN INDEPENDENT RESEARCH PRIOR TO OR DURING CONSTRUCTION, TO ASCERTAIN CONDITIONS AS EXIST AT THE SITE. REFER TO PROJECT GEOGRAPHICAL REPORT FOR INFORMATION AS TO SUBSURFACE CONDITIONS. SEE NOTICES TO CONTRACTOR THIS SHEET. CONTACT 1-800-DIG-RITE FOR LOCATES OF MEMBER UTILITIES. PRIVATE SERVICE LINES MAY VARY. ADDITIONAL INVESTIGATION, BEYOND ANY PRIOR EFFORTS OF THIS OFFICE AS TO EXISTENCE AND/OR LOCATION.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
528	CONTOURS	528
SPOT(S)	SPOT(S)	+528
SLOPE DESIGNATOR	SLOPE DESIGNATOR	
GAS W/ VALVE	GAS W/ VALVE	
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE	
CABLE TV	CABLE TV	CATV
TRANSFORMER	TRANSFORMER	
PEDESTAL	PEDESTAL	
OVERHEAD LINES	OVERHEAD LINES	OVH
UTILITY POLE	UTILITY POLE	PP
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC	
LIGHT STANDARD	LIGHT STANDARD	
WATER	WATER	
WATER VALVE	WATER VALVE	
WATER METER/VAULT	WATER METER/VAULT	
FIRE HYDRANT	FIRE HYDRANT	
STORM SEWER	STORM SEWER	
BIO-SHALE UNDERDRAIN	BIO-SHALE UNDERDRAIN	
SANITARY SEWER	SANITARY SEWER	
CURB INLET	CURB INLET	
AREA INLET & OPEN SIDE (ALL IF NO ARROWS)	AREA INLET & OPEN SIDE (ALL IF NO ARROWS)	
CLEAN OUTS/POP-UP BATTER, ATRUM GRATE	CLEAN OUTS/POP-UP BATTER, ATRUM GRATE	
GRATED INLET	GRATED INLET	
MANHOLE	MANHOLE	
FLARED END SECTION WITH HEADWALL	FLARED END SECTION WITH HEADWALL	
DRAINAGE SWALE / DIRECTION OF FLOW	DRAINAGE SWALE / DIRECTION OF FLOW	
BMP HWEL	BMP HWEL	
1000'-1005'/C	SANITARY/COMBINED STRUCTURE	
A/C1	STORM STRUCTURE	
100'-1000'	DRAINAGE AREA LIMITS	
	DRAINAGE AREA DESIGNATOR	
	CONCRETE	
	ASPHALT	
	RP RAP	
	BENCHMARK	
	SGN (SINGLE POST)	
	FENCE	
	LAND DISTURBANCE	
	SALICUT	
	SILT FENCE	
	RETAINING WALL	
	STORMWATER BASIN SURFACE	
	DOWNSPOUT WITH SPLASH BLOCK	DS

ABBREVIATIONS

AC	ACRE	AC	ACRE
AHJ	AUTHORITY HAVING JURISDICTION	ASP	ASPHALT
BL	BUILDING LINE	BL	BUILDING LINE
CALC.	CALCULATED	CL	CENTER LINE
CO	CLEANOUT	CONC.	CONCRETE
DB	DEED BOOK	DS	DOWNSPOUT
ESMT.	EASEMENT	ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT	EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION	FF	FEET
FF	FINISHED FLOOR ELEVATION	FL	FLOWLINE
HEW	HIGH BOTTOM WALL	HP	HIGH POINT
HORIZ.	HORIZONTAL	HWEL	HIGH WATER ELEVATION
LSW	LOW BOTTOM WALL	LP	LOW POINT
LS	LOW SILL	MH	MANHOLE
ME	MATCH EXISTING	MAX.	MAXIMUM
MIN.	MINIMUM	N/F	NOW OR FORMERLY
PG	PAGE	PIV	POST INDICATOR VALVE
PVC	POLYVINYL CHLORIDE	R	PROPERTY LINE
RCP	RCP	R/W	RIGHT OF WAY
SAN.	SANITARY	SBM	SITE BENCHMARK
SF	SQUARE FEET	STA.	STATION
STIM.	STORM	(TBA)	TO BE ABANDONED
(TBA&R)	TO BE ABANDONED & RELOCATED	(TBO)	TO BE DETERMINED
(TR)	TO BE REMOVED	(TR&R)	TO BE REMOVED & REPLACED
TF	TOP OF FOUNDATION	TW	TOP OF WALL
UNK	UNKNOWN	(UP)	USE IN PLACE
(VCP)	VITRIFIED CLAY PIPE	VERT.	VERTICAL

**304 GEORGE AVE
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
TITLE SHEET/FLAT PLAN**

Prepared By: **wind**

122 N. Kirkwood Road
Kirkwood, MO 63122
Telephone: 314.985.7802
Fax: 314.985.7802
Email: wind@windengr.com
C.O.A. #C-107-C-D

NOTICE TO CONTRACTOR

THE LOCATION OF ANY UNDERGROUND FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, PUBLIC OR PRIVATE, AS MAY BE SHOWN ON THESE DRAWINGS HAVE BEEN APPROXIMATED FROM: FACILITY MAPS PROVIDED TO OUR OFFICE BY UTILITY PROVIDERS, RECEIVED AS OF THE DATE OF THIS DRAWING; EXTRAPOLATION FROM SURFACE FEATURES AS MAY HAVE BEEN NOTICED DURING FIELD RECONNAISSANCE OR FIELD SURVEYS, AND/OR LOCATES AS MAY HAVE BEEN MARKED ON THE SURFACE BY MO ONE CALL / DIG-RITE. THEIR LOCATION(S) MUST BE CONSIDERED STRICTLY APPROXIMATE, ARE INTENDED FOR GENERAL INFORMATION ONLY, AND SHOULD NOT BE RELIED UPON BY ANYONE HAVING ACCESS TO THIS DRAWING. IT IS THE RESPONSIBILITY OF ANY CONTRACTOR, REPRESENTATIVE OF UTILITY COMPANIES, SEWER AND/OR WATER EXCAVATIONS OR CONSTRUCTING IMPROVEMENTS ON THIS SITE TO VERIFY NOT JUST THE X-Y-Z (LOCATION(S)) OF UTILITIES AS MAY BE SHOWN, BUT ALSO THE EXISTENCE OF ANY FACILITIES AS MAY NOT BE SHOWN, INCLUDING SERVICE LINES, AND THE RELATIONSHIP / COMPATIBILITY BETWEEN ANY PROPOSED WORK AND SUCH EXISTING FACILITIES, STRUCTURES, UTILITIES, SEWERS AND DRAINAGE FACILITIES, TO VERIFY ADEQUATE CLEARANCE/COVER/STRUCTURAL CAPABILITIES OR INTEGRITY VERSUS ANY PROPOSED GRADING, SEWERS AND/OR DRAINAGE FACILITIES, FOOTINGS, IMPROVEMENTS, ETC. PRIOR TO CONSTRUCTION. REPRESENTATIVES OF UTILITY COMPANIES, SEWER AND/OR WATER AUTHORITIES, INCLUDING LOCAL MUNICIPAL AGENCIES AS MAY HAVE JURISDICTION OVER SAME, SHALL BE ON SITE DURING SUCH TIMES THAT ANY WORK IS TAKING PLACE OVER, UNDER OR IN THE VICINITY OF ANY FACILITIES AS MAY BE SHOWN ON THE DRAWINGS OR OTHERWISE FOUND TO EXIST, AND THE CONTRACTOR(S) SHALL GIVE ADVANCE NOTICE TO SUCH REPRESENTATIVES AS NEEDED TO COORDINATE THEIR EFFORTS IN THIS REGARD. ADDITIONALLY, CONTRACTOR(S) SUBCONTRACTORS SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY PROVIDERS AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF, THEIR FACILITIES; WORKING WITHIN THEIR RIGHTS-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED DOLLAR CHARGES; AND/OR SPECIAL BACKFILL OR RESTORATION REQUIREMENTS, SUCH INVESTIGATIONS TO INCLUDE BUT NOT BE LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENT OF ANY AND ALL REQUIRED FEES.

NO.	ADDRESS	ELEV.	VARIANCE / VALUE	COMMENTS
1	VERTICAL (AT PROPOSED FRONT SETBACK)			SEE OTHER SHEETS
2	EXIST SPOT GRADE	576.92		AT - CENTER / ENTRY OF HOUSE, AT PROPOSED FRONT SETBACK (SEE OTHER SHEETS)
3	ELEVATION AT STREET	582.25		EDGE PAVEMENT GEORGE AVENUE AT PRO DRIVEWAY
4	CALC FF	583.87		FF = EXPECTED PREDOMINANT LIVING AREA 308 * 312
5	PRO FF	585.85	1.99	SEE OTHER SHEETS
6	IF ADDN. 12" UPWARD ADJUSTMENT	584.87	0.99	BASED ON MSD REGULATIONS, SEE OTHER SHEETS
7	CALC GF AT CHD. WITH 12" ADJUSTMENT	583.02		12" > CALC'D VALLE
8	CALC GF <= STREET		0.81	GF AT CHD 1.85 FT BELOW CALC'D FF
9	CALC FF	579.91		BF 1 L 308 * 312
10	PRO FF	585.85	5.94	SEE OTHER SHEETS
11	IF ADDN. 12" UPWARD ADJUSTMENT	580.91	4.94	BASED ON MSD REGULATIONS, SEE OTHER SHEETS
12	CALC GF AT CHD. WITH 12" ADJUSTMENT	579.06		12" > CALC'D VALLE
13	CALC GF <= STREET		(2.94)	GF AT CHD 1.85 FT BELOW CALC'D FF
14	CALC FF	578.92		CODE OPTION
15	PRO FF	585.85	6.93	24" > EXIST SPOT
16	IF ADDN. 12" UPWARD ADJUSTMENT	579.92	5.93	BASED ON MSD REGULATIONS, SEE OTHER SHEETS
17	CALC GF AT CHD. WITH 12" ADJUSTMENT	578.07		12" > CALC'D VALLE
18	CALC GF <= STREET		(4.93)	GF AT CHD 1.85 FT BELOW CALC'D FF
19	PRO GF	584.00		SEE PROPOSED SITE PLAN
20	CALC PRO GF <= STREET		1.75	

YEAR	ACTIVITY (PER AVAIL RECORDS)	SETBACK
1961	HOUSE CONSTRUCTED #308 GEORGE	52.8
1963	HOUSE CONSTRUCTED #312 GEORGE	51.4
1978	HOUSE CONSTRUCTED #318 GEORGE	100.1
MID 1990'S	MSD IMPROVEMENTS	
2000	HOUSE CONSTRUCTED #320 GEORGE	35.4
2021	PROPOSED SETBACK #304	52.8

FOR AGENCY REVIEW

WIND ENGINEERING COMPANY
COPYRIGHT 2021

THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C1
 10/11/2021
 10/11/2021

STATUS/REVISIONS

DATE: 10/11/2021
 BY: DW
 DESCRIPTION: SUBMIT TO BOARD OF ADJUSTMENT

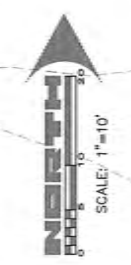


CITY'S EXHIBIT NO. 7

GEORGE AVE (50'w)



- KEYED NOTES**
1. MATCH EXISTING AT PROPERTY LINE (TYP).
 2. SECURE MSD ENCROACHMENT LICENSE FOR PROPOSED RETAINING WALLS, TYP 302 + 304.
 3. EXTEND/OVERDEEEN FOUNDATION AS REQUIRED, TYP BOTH LOTS AS REQUIRED.
 4. BLUE SHADING DEPICTS LIMITS BACKWATER 100 YEAR HWEL CONTROLLED BY CULVERT UNDER RAILROAD.
 5. FIELD ADJUST PROPOSED GRADES THIS AREA TO ADAPT TO EXISTING ELEVATIONS, AND MAINTAIN OR ATTAIN POSITIVE DRAINAGE TO MEP.
 6. SIZE OF DECK AND PATIO PER AE PLANS.
 7. CONSTRUCT DIVERSION BERM AND SINKLE TOP OF SLOPE.
 8. SEE AE PLANS FOR LOCATIONS AND SIZE VISTA WINDOWS.
 9. SUMP PUMP TO DISCHARGE TO BMP PER CITY STANDARDS, PFRNG/STORMWATER DRAINAGE, ETC TO BE DETAILED ON FUTURE SITE DEVELOPMENT PLANS.
 10. MINIMUM 2FT CLEARANCE PROPOSED DRIVE TO EXISTING FIRE HYDRANT.
 11. TOP/BOTTOM OF WALL VARIES, ADAPT TO PROPOSED GRADES (TYP).
 12. PORCH ELEVATION CALCULATED AT 7'-6" BELOW FINISHED FLOOR (TYP).
 13. JOINTING AND FLATWORK PER ACI RECOMMENDATIONS.
 14. MAINTAIN FOUR SIDES OPEN EXISTING INLET.
 15. RIP RAP OR OTHERWISE STABILIZE DIVERSION SINKLE.
 16. PER FOOTING WHERE/AS DIRECTED BY MSD FOR ZONE OF INFLUENCE.



DISCLAIMER
 THESE DRAWINGS ARE FOR
 AGENCY REVIEW AND UNTIL
 APPROVED ARE NOT FOR
 CONSTRUCTION.

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 PROPOSED SITE AND GRADING PLAN

Prepared for:
 MR. STEVE HAYES
 HENRIK REALTY, LLC
 5406 HANSON COURT
 ST. LOUIS, MO 63129
 Phone: 314.985.4100
 Email: steve@henrik.com
 C.O.A. #E-1807-D

Prepared by:
 WIND ENGINEERING COMPANY
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.985.4100
 Email: wind@windengr.com
 C.O.A. #E-1807-D

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

NOTE: PROPOSED FINISHED FLOOR ESTABLISHED TO RESPECT MSD REGULATIONS, SEE OTHER SHEETS.

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Checked: PC
Drawn By:	PC C.S.O.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C6
MSD P-:	BASEMAP: 24N



ISSUED: 07-15-2021
ISSUED: 07-17-2021

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
3726 GUMTREE LANE
ST. LOUIS, MO 63129

ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
1016 CLARK DRIVE
FENTON, MO 63026
636-343-6527
MO. CERT. OF AUTH. 2013007016

CLIENT:
SPEC HOME
304 GEORGE AVENUE
KIRKWOOD, MO 63122

SHEET

A4

RECEIVED
OCT 11 2021
CITY OF KIRKWOOD
PUBLIC WORKS DEPARTMENT

CITY'S EXHIBIT NO. 7



WEST ELEVATION
SCALE: 1/4"=1'-0"

ISSUED: 07-15-2021
ISSUED: 07-17-2021

ARCHITECT:
STEVE HAYES- ICONIC CONSTRUCTION
3726 GUMTREE LANE
ST. LOUIS, MO 63129

ARCHITECT:
PAUL DEAN HUNSICKER ARCHITECT, INC.
1016 CLARK DRIVE
FENTON, MO 63026
636-343-6527
MO. CERT. OF AUTH. 2013007016

CLIENT:
SPEC HOME
304 GEORGE AVENUE
KIRKWOOD, MO 63122

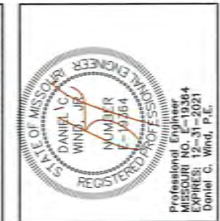
SHEET
A7



KEYED NOTES

GENERAL: SEE NOTICE TO CONTRACTOR SHEET C1 AND KEYED NOTES OTHER SHEETS AS MAY BE APPLICABLE TO WORK DEPICTED ON THIS DRAWING.

1. SOIL BORING INFORMATION FROM MSD PLANS, PROJ#87127.
2. EXISTING CONCRETE ENCASED SANITARY SEWER INSIDE BOX CULVERT.
3. SOUTH END (ENTRANCE) TO 7.8X5.05' BOX CULVERT.



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.



ENTRANCE TO EXISTING CULVERT BENEATH RAILROAD



DISCHARGE END MSD CULVERT INSTALL (C. 1997 AB)

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 EXISTING CONDITIONS/100-YEAR HWEL EXHIBIT

Prepared By: **wind**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.985.1400
 Fax: 314.985.7202
 Email: wind@windengr.com
 G.O.A. #E-1807-D



SEE SHEETS C4.1-C4.3
 FOR HYDRAULIC ANALYSIS/
 100-YEAR HWEL CALCULATIONS

CITY'S EXHIBIT NO. 7

No.	DATE	DESCRIPTION	P.L. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Checked: PC
Drawn By:	PC C.S.O.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C3.2
MSD P.	BASEMAP: 24N

1. **Rainfall Frequency**

A twenty (20) year rainfall frequency is to be used in the City of St. Louis and areas of St. Louis County where combined sewers are used. A fifteen (15) year rainfall frequency is to be used in areas of St. Louis County where storm sewers are separated from sanitary sewers. In the design of local storm sewer systems, a twenty (20) minute time of concentration shall be used, unless drainage area and time of concentration dictates a different duration as indicated in item 3 below. **Figure 4-1** gives rainfall curves for 2, 5, 10, 15, 20 and 100 year frequencies.

2. **Impervious Percentages and Land Use**

Minimum impervious percentages to be used are as follows:

- a. For manufacturing and industrial areas, 100%*
- b. For business and commercial areas, 100%*
- c. For residential areas, including all areas for roofs of dwellings and garages; for driveways, streets, and paved areas; for public and private sidewalks; with adequate allowance in area for expected or contingent increases in imperviousness:

In apartment, condominium and multiple dwelling areas: 75%*

In single family areas:

1/4 Acre or less	50%
1/4 Acre to 1/2 Acre	40%
1/2 Acre to 1 Acre	35%
One acre or larger	Calculate impervious percentage*
Playgrounds (Non-Paved)	20-35%*

- d. For small, non-perpetual charter cemeteries, allow 30%

For parks and large perpetual charter cemeteries 5%

***NOTE:** Drainage areas may be broken into component areas, with the appropriate run-off factor applied to each component, i.e. a proposed development may show one hundred percent (100%) impervious for paved areas and five percent (5%) impervious for grassed areas. Use of actual component areas may be required, however, where minimum impervious percentages are deemed misleading, or too approximate.

The design engineer shall provide adequate detailed computations for any proposed, expected or contingent increases in imperviousness and shall make adequate allowances for changes in zoning use. If consideration is to be given to any other value than the above for such development, the request must be made at the beginning of the project, must be reasonable, fully supported, and adequately presented, and must be approved in writing before its use is permitted.

Although areas generally will be developed in accordance with current zoning requirements, recognition must be given to the fact that zoning ordinances can be amended to change the currently proposed types of development, and any existing use. Under these circumstances the possibility and the probability of

residential areas having lot sizes changed or re-zoned to business, commercial, or light manufacturing uses should be given careful consideration.

- c. Average 20-minute values of P.I. (cfs per acre) to be used are as follows:

Percent Imperviousness	20 Minute Duration	
	15 Year	20 Year
5	1.70	1.78
10	1.79	1.87
20	2.00	2.09
30	2.19	2.28
40	2.39	2.50
50	2.58	2.69
90	3.36	3.50
100	3.54	3.70

*Roofs (Combined Sewer Areas)
20-year 20 minute PI 6.00, 100-year 20 minute PI 7.75

*Roofs (Separate Sewer Areas)
15-year 20 minute PI 4.20, 100-year 20 minute PI 5.62

*When connected directly to sewer

3. **Reduction in P.I. with Time and Area**

Reduction in P.I. values for the total time of concentration exceeding twenty (20) minutes, and for tributary areas exceeding three hundred (300) acres will be allowed only in trunk sewers and main channels. The reduced average P.I. value for the tributary area shall not be less than the value determined as follows on the basis of:

- a. Time. As the time of concentration increases beyond twenty (20) minutes, select the appropriate P.I. value from Table 4-2. The travel time through a drainage channel should be based on an improved concrete section. These reduced values shall be used unless a further reduction is allowed for area.
- b. Area. As the total tributary area at any given location in a channel increases in excess of three hundred (300) acres, the P.I. value may be further reduced by multiplying it by an area coefficient "Ka". (The area coefficient is obtained from data in a special study of a major storm in the St. Louis area by the U.S. Corps of Engineers.) The average rainfall rate, for a given storm, for a given period for the tributary area, is less than the corresponding point value as determined from recording rainfall gauges. The curve data is as follows:

Area (Abscissas)	P.I. Coefficients Ka "Ka" (Ordinates)
300 to 449 Acres	1.00
450 to 549 Acres	.99
550 to 749 Acres	.98
750 to 999 Acres	.97
1000 to 1280 Acres	.96
1281 to 1600 Acres	.95
1601 to 1920 Acres	.92
1921 to 2240 Acres	.91



DISCLAIMER
THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: WIND ENGINEERING COMPANY
122 N. Kirkwood Road, Kirkwood, MO 63122
Telephone: 314.986.7100
Email: info@windeng.com
C.O.A. #15-1007-D

Presented for: Hemrick Realty
4488 HANLEY BLVD, SUITE 125
ST. LOUIS, MO 63129
e: STLOUIS@HEMRICKREALTY.COM
O: (314) 280-3700

No.	Date	Description	By
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	DW

STATUS/REVISIONS

WIND ENGINEERING COMPANY
COPYRIGHT 2021
THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
Field Work: DS Field Check: PC
Drawn By: PC C.S.G.: PC
Checked By: DW
Project Number: 21046
Sheet Number: C4.1A
MSD P. BASEMAP: 248

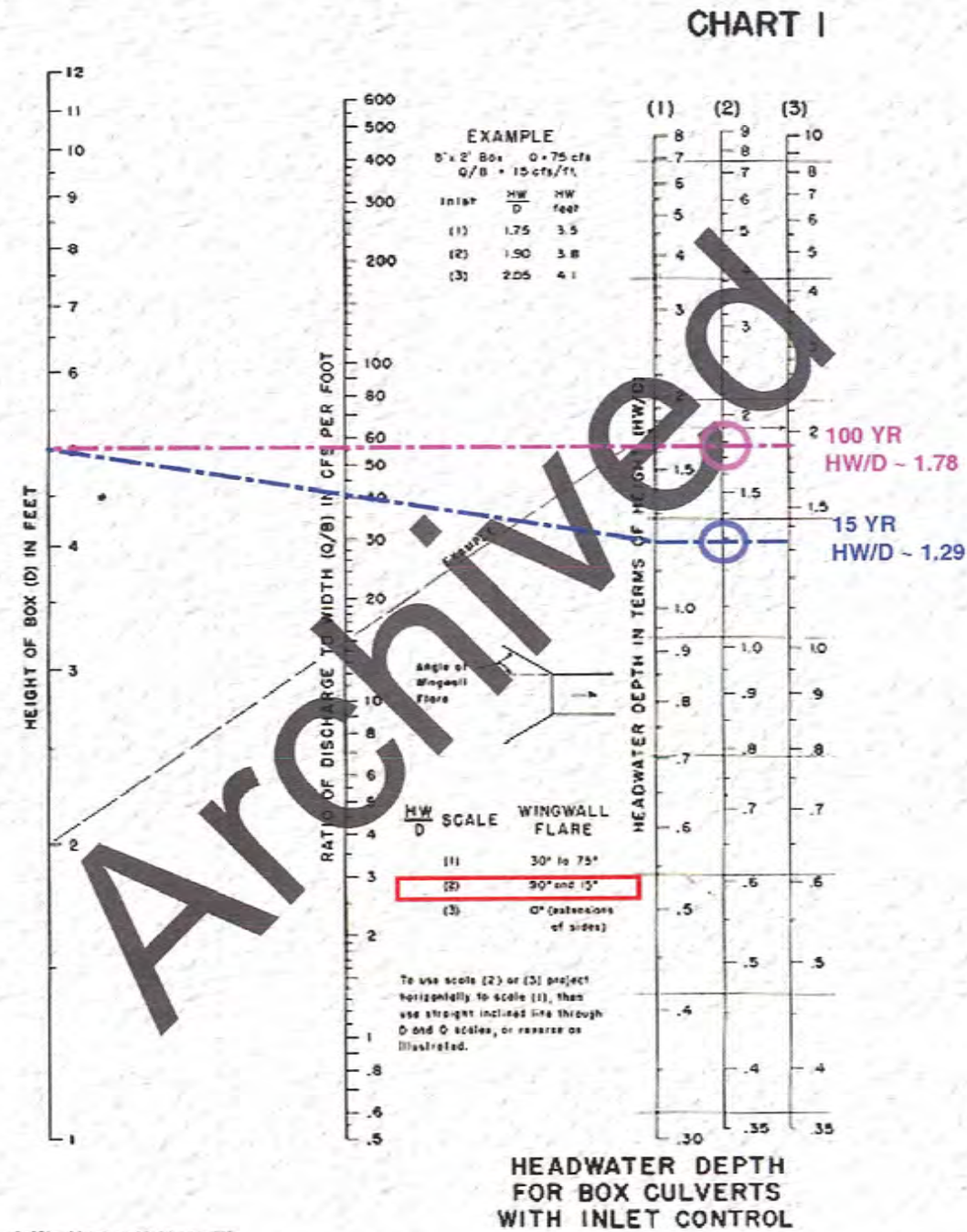
plan shall also show locations of the proposed encroachment and structure(s), together with existing topography.

2. The site plan shall show the entire flood plain (not just the project site area) a minimum of two hundred (200) lineal feet downstream and upstream of the proposed project.
3. Cross section locations and alignment shall be shown on the site plan. The sections should be located perpendicular to the flow in both the channel and overbanks. The sections shall be taken and plotted left to right looking downstream. The flood profile shall be plotted for inclusion in the study.
4. Cross sections shall show the following items:
 - a. 100-year water surface elevation.
 - b. Manning's "n" values
 - c. Top of bank locations
 - d. Horizontal stationing, vertical elevations
 - e. Existing and proposed groundlines
 - f. Existing and proposed sewers
 - g. Cross section identification as it relates to the site plan and hydraulic study
 - h. Existing or proposed structures
 - i. Floodway limits
5. Crossroad culverts in the flood plain shall be designed on a 100-year storm frequency and provide a minimum of two (2) feet of freeboard at the road shoulder line.
6. Basement elevations, with the exception of walkouts, must be one (1) foot above the 100-year flood elevation. Basements outside the flood plain limits may be below the 100-year flood elevation if a sanitary pump is installed in the basement with the outgoing plumbing located above the 100-year elevation.
7. The lowest finished floor elevation of all new or redevelopment structures, including slab on grade, shall be minimum of one (1) foot above the 100-year flood elevation. The low sill of all structures in or adjacent to the floodplain shall be a minimum of two (2) feet above the 100-year flood elevation.
8. Channel and overbank (flood plain) velocities should generally not increase by more than fifty percent (50%) over pre-developed conditions. Velocities in excess of five (5) feet per second (fps) in channels shall require erosion protection.

MSD REGS 5.010.07(7)

[Go Back to Part II](#)

[Go to Chart 2](#)



NOTE: CULVERT HYDRAULICS DO NOT MODEL THE "FILLET" ON TOP OF SLAB OR THE EXISTING CONCRETE-ENCASED SANITARY SEWER INTERNAL TO THE CULVERT (SEE PHOTOS OTHER SHEETS)



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: **Wind**
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 636.525.2502
 Email: wind@windeng.com
 O.G.A. #E-1607-D

Presented for:
 MR. STEVE HAYES, C.E.
 488 W. MAINTENANCE ROAD, RTH 133
 ST. LOUIS, MO 63119
 E: STEVE@HERRICK.COM
 M: (314) 454-4112
 O: (314) 293-3798

Herrick Realty

No.	Date	Description	P.L. Signature

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C4.1B

MSD P. BASEMAP: 24N

February 1, 2018

89

4-37

P.I. FACTOR IN CUBIC FEET PER SECOND PER ACRE

DURATION OF RAIN IN MINUTES	X IMPERVIOUS	15-YEAR RAINFALL FREQUENCY						20-YEAR RAINFALL FREQUENCY					
		15	20	30	60	90	120	15	20	30	60	90	120
0		1.59	1.61	1.52	1.22	1.04	0.92	1.65	1.68	1.60	1.29	1.08	0.96
5		1.70	1.70	1.59	1.27	1.08	0.95	1.76	1.78	1.68	1.34	1.11	0.99
10		1.80	1.79	1.68	1.33	1.12	0.97	1.87	1.87	1.77	1.40	1.15	1.02
15		1.91	1.89	1.76	1.38	1.15	1.00	1.98	1.97	1.85	1.45	1.19	1.05
20		2.01	2.00	1.85	1.43	1.18	1.03	2.09	2.09	1.95	1.50	1.22	1.07
25		2.12	2.09	1.92	1.49	1.22	1.06	2.20	2.18	2.03	1.56	1.26	1.10
30		2.23	2.19	2.00	1.54	1.26	1.08	2.31	2.28	2.11	1.61	1.30	1.13
35		2.33	2.28	2.09	1.58	1.29	1.11	2.42	2.38	2.20	1.66	1.33	1.16
40		2.44	2.39	2.16	1.63	1.33	1.13	2.53	2.50	2.28	1.71	1.37	1.18
45		2.54	2.48	2.26	1.69	1.37	1.16	2.64	2.59	2.38	1.78	1.41	1.22
50		2.65	2.58	2.33	1.74	1.40	1.19	2.75	2.69	2.46	1.83	1.44	1.24
55		2.76	2.67	2.41	1.79	1.43	1.22	2.86	2.78	2.54	1.88	1.48	1.27
60		2.86	2.76	2.50	1.85	1.47	1.24	2.97	2.88	2.63	1.94	1.52	1.30
65		2.97	2.88	2.57	1.90	1.51	1.27	3.08	3.00	2.71	1.99	1.56	1.33
70		3.07	2.97	2.66	1.94	1.54	1.29	3.19	3.10	2.81	2.04	1.59	1.35
75		3.18	3.06	2.74	2.00	1.58	1.32	3.30	3.19	2.89	2.10	1.63	1.38
80		3.29	3.15	2.81	2.05	1.62	1.35	3.41	3.29	2.96	2.15	1.67	1.41
85		3.39	3.24	2.90	2.10	1.65	1.38	3.52	3.38	3.06	2.21	1.70	1.44
90		3.50	3.36	2.98	2.16	1.68	1.40	3.63	3.50	3.14	2.27	1.74	1.46
95		3.60	3.45	3.07	2.21	1.72	1.43	3.74	3.60	3.24	2.32	1.78	1.50
100		3.71	3.54	3.15	2.26	1.76	1.45	3.85	3.70	3.32	2.37	1.81	1.52
RAINFALL		5.30	4.60	3.70	2.40	1.86	1.53	5.50	4.80	3.90	2.52	1.92	1.60

TABLE 4-2

P.I. VALUES FOR VARIOUS IMPERVIOUS CONDITIONS (15 YEAR & 20 YEAR RAINFALL FREQUENCIES)

February 1, 2018

91

4-39

P.I. FACTOR IN CUBIC FEET PER SECOND PER ACRE

DURATION OF RAIN IN MINUTES	X IMPERVIOUS	10-YEAR RAINFALL FREQUENCY						100-YEAR RAINFALL FREQUENCY					
		15	20	30	60	90	120	15	20	30	60	90	120
0		1.48	1.51	1.42	1.15	0.95	0.83	2.10	2.17	2.06	1.68	1.40	1.18
5		1.57	1.59	1.49	1.19	0.99	0.86	2.24	2.29	2.16	1.75	1.45	1.22
10		1.67	1.68	1.57	1.25	1.02	0.88	2.38	2.42	2.28	1.83	1.50	1.24
15		1.77	1.76	1.64	1.29	1.05	0.90	2.52	2.54	2.38	1.90	1.55	1.28
20		1.87	1.87	1.73	1.34	1.08	0.92	2.66	2.70	2.51	1.96	1.59	1.31
25		1.97	1.96	1.80	1.40	1.11	0.95	2.80	2.82	2.61	2.05	1.64	1.35
30		2.07	2.04	1.87	1.44	1.15	0.97	2.94	2.95	2.71	2.11	1.69	1.38
35		2.18	2.13	1.95	1.49	1.18	1.00	3.08	3.07	2.84	2.18	1.74	1.42
40		2.26	2.24	2.02	1.53	1.22	1.02	3.22	3.22	2.94	2.24	1.79	1.45
45		2.36	2.32	2.11	1.59	1.25	1.05	3.36	3.35	3.06	2.33	1.84	1.49
50		2.46	2.41	2.18	1.63	1.28	1.07	3.50	3.47	3.16	2.39	1.88	1.52
55		2.56	2.49	2.25	1.66	1.31	1.10	3.64	3.60	3.26	2.46	1.93	1.56
60		2.66	2.58	2.34	1.73	1.34	1.12	3.78	3.72	3.39	2.54	1.98	1.59
65		2.76	2.69	2.40	1.78	1.38	1.15	3.92	3.88	3.49	2.61	2.03	1.63
70		2.85	2.77	2.49	1.82	1.41	1.17	4.06	4.00	3.61	2.67	2.07	1.66
75		2.95	2.86	2.56	1.86	1.44	1.19	4.20	4.12	3.71	2.76	2.13	1.70
80		3.05	2.95	2.63	1.92	1.48	1.21	4.34	4.25	3.82	2.82	2.18	1.72
85		3.15	3.03	2.72	1.97	1.50	1.24	4.48	4.37	3.94	2.89	2.21	1.76
90		3.25	3.14	2.79	2.03	1.54	1.26	4.62	4.53	4.04	2.97	2.26	1.79
95		3.35	3.23	2.87	2.07	1.57	1.29	4.76	4.65	4.17	3.04	2.31	1.83
100		3.44	3.31	2.94	2.11	1.61	1.31	4.90	4.77	4.27	3.10	2.36	1.86
RAINFALL		4.92	4.30	3.46	2.25	1.70	1.38	7.00	6.20	5.02	3.30	2.50	1.96

TABLE 4-4

P.I. VALUES FOR VARIOUS IMPERVIOUS CONDITIONS (10 YEAR & 100 YEAR RAINFALL FREQUENCIES)



DISCLAIMER THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by WIND ENGINEERING COMPANY, 122 N. Kirkwood Road, Kirkwood, MO 63122

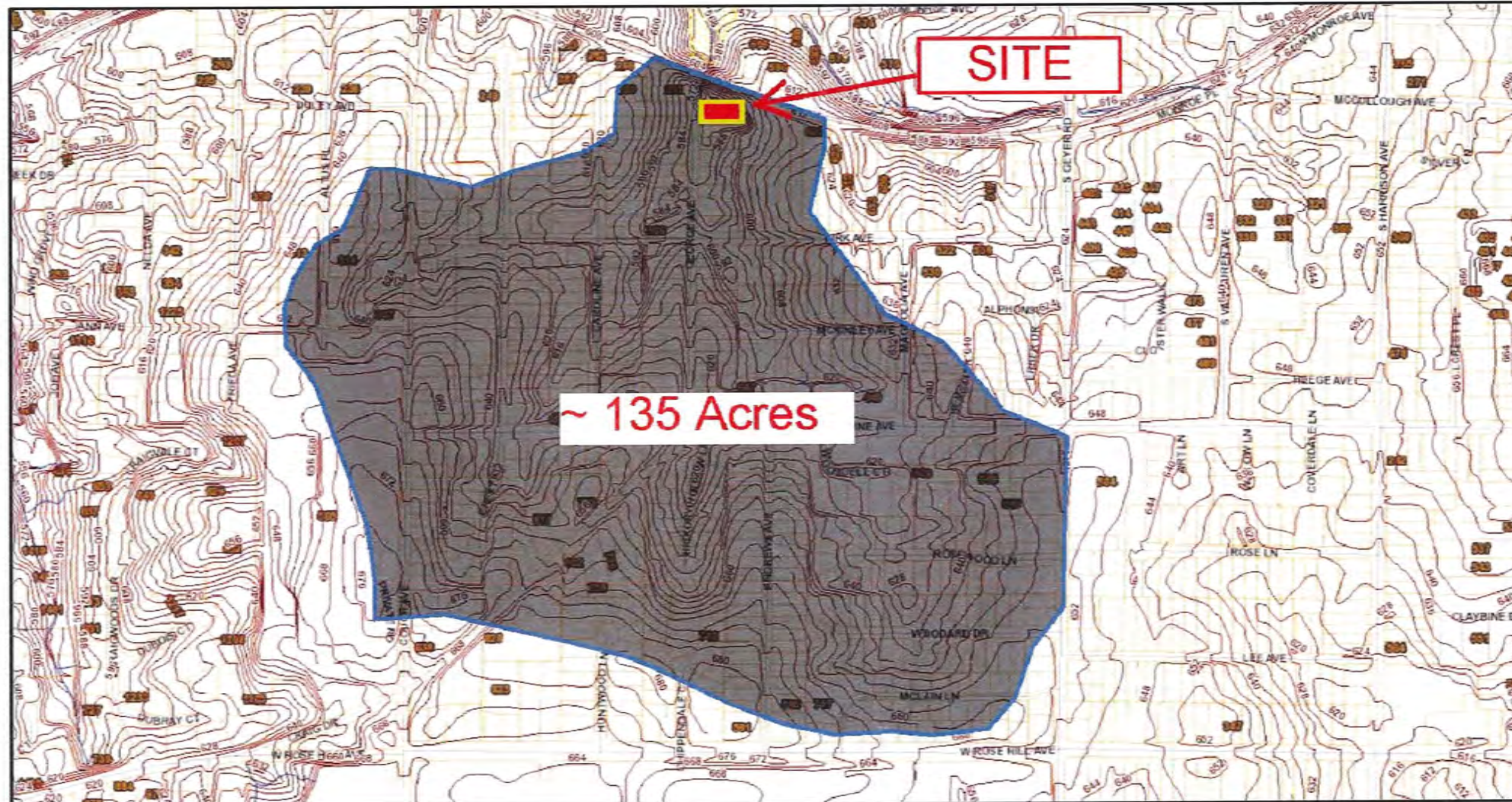
STATUS/REVISIONS table with columns for No., Date, Description, P.I. Signature

WIND ENGINEERING COMPANY COPYRIGHT 2021 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING...

Project information form: Date: 10/11/2021, Field Work: DS, Field Checked: PC, Drawn By: PC, C.S.O.: PC, Checked By: DW, Project Number: 21046, Sheet Number: C4.1C

MSD P. BASEMAP: 24N

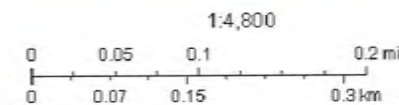
St. Louis County Map



10/4/2021, 9:55:37 AM

- Contours 4ft (1997)
- Other Flood Areas (0.2% Annual Chance)
- Special Flood Hazard Areas (1% Annual Chance)

DRAINAGE AREA MAP 304 GEORGE AVE, 63122



St. Louis County GIS Service Center

EVALUATE PERFORMANCE EXISTING RAIL ROAD CULVERT

NO.	1	STORM EVENT	15 YR	20 MIN DURATION	100 YR	STORM EVENT	1
2	APPROX D.A.	135	ACRES, SEE ATTACHED MAP	135	APPROX D.A.	2	
3	AVE PI	2.39	40% IMP ENTIRE DA	3.22	AVE PI	3	
4	15/20 Q	323	FLOWRATE, CFS	435	100/20 Q	4	
EXIST BOX CULVERT							
5	HEIGHT, D	5.1	FEET	5.1	HEIGHT, D	5	
6	WIDTH, B	7.8	FEET	7.8	WIDTH, B	6	
7	Q/B	41	RATIO DISCHARGE TO WIDTH	56	Q/B	7	
8	HW/D	1.29	FROM HEC-5 CHART 1	1.78	HW/D	8	
9	ADJ FL RR BOX	566.07	566.46 PER MSD AB, ADJ PER FIELD SURVEY BY -0.39	566.07	ADJ FL RR BOX	9	
10	HW FT	6.5	(HW/D) * D	9.0	HW FT	10	
11	HWEL	572.58	CALC'D FOR SETTING BF AND LOW SILL ELEVS	575.06	HWEL	11	
12	SAY	572.50	FOR PLOTTING LIMITS BACKWATER	575.00	SAY	12	



DISCLAIMER
THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE
CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO

WATERSHED STUDY AND HWEL TABLES AND CALCULATIONS

Prepared by: WIND
122 N. Kirkwood Road
Kirkwood, MO 63122
Telephone: 314.985.WIND
Email: wind@windeng.com
G.O.A. #E-1607-D

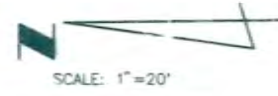
Prepared for: Hennick Realty
MR. STEVE HAYES
1800 BARNHARTER ROAD SUITE 125
ST. LOUIS, MO 63129
E: STEVE@HENNICKREALTY.COM
O: (314) 265-3798

NO.	DATE	DESCRIPTION
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT

WIND ENGINEERING COMPANY
COPYRIGHT 2021
THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

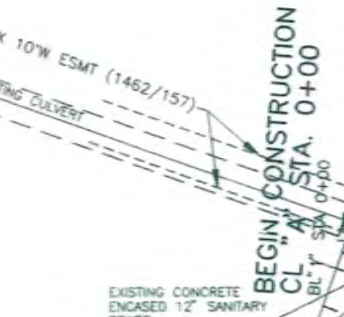
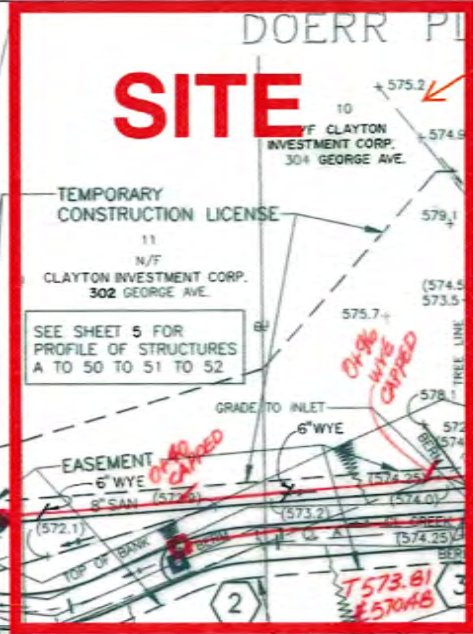
Date:	10/11/2021
Field Work:	DS
Field Checked:	PC
Drawn By:	PC
C.S.G.:	PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C4.1D
MSD P.:	BASEMAP: 24N

CAROPARK SUBDIVISION
P.B.301 PG. 12



SITE

IS NOTED MSD'S WORK DEVELOPED
A SWALE FROM REAR LOW AREA
TO DRAIN TOWARDS MSD AI#3



TEMPORARY CONSTRUCTION LICENSE

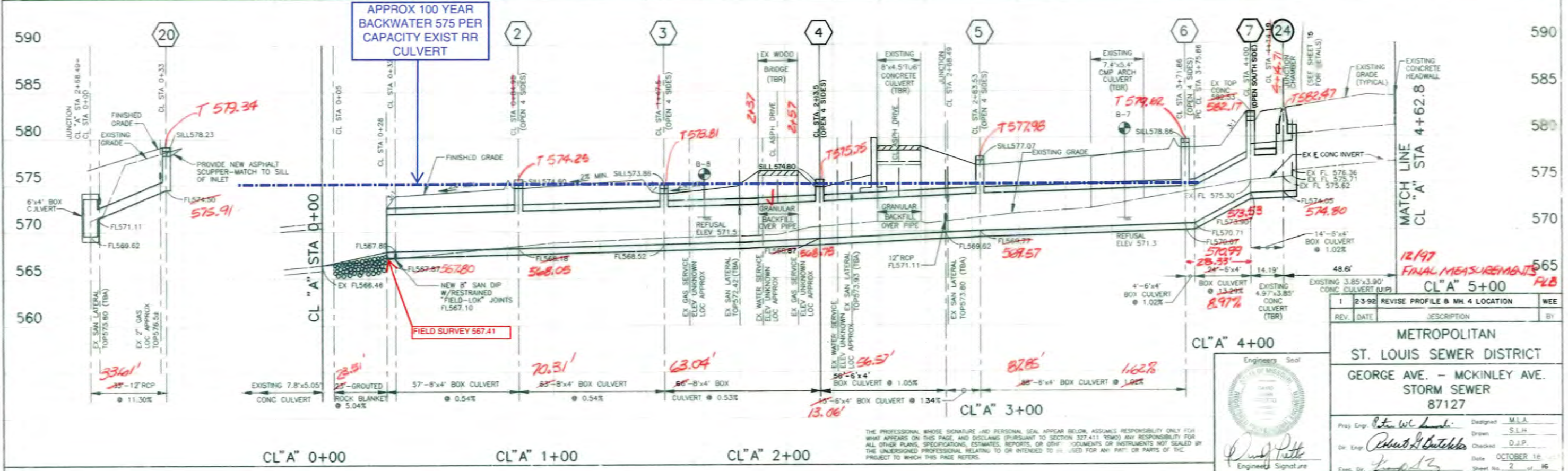
BM # 445-30
Cut triangle of Kirkwood on Missouri Pacific Railroad
0.5 miles West of station about one pole West of mile
post 14, 46.0' East of centerline of South Track.
Standard U.S.G.S. monument with bronze disc 0.5' above
ground. ELEVATION 619.63

DOERR PLACE P.B.10 PG.5 BLOCK 7

RICE, HOLLIS & BLANCHE E.
333 GEORGE AVE.

SEE SHEET 6 FOR
PROFILE OF STRUCTURES
B TO 53 TO 54 TO 55 TO F

SEE SHEET 13 FOR DETAIL
OF MANHOLE AND INLET
MANHOLES ON REINFORCED
CONCRETE BOX.



REV.	DATE	DESCRIPTION	BY
1	2-3-92	REVISE PROFILE & MH. 4 LOCATION	WEE

METROPOLITAN
ST. LOUIS SEWER DISTRICT
GEORGE AVE. - MCKINLEY AVE.
STORM SEWER
87127

Proj. Eng. *Peter W. L...* Designed *M.L.A.*
 Dr. Eng. *Robert L. Butcher* Drawn *S.L.H.*
 Checked *D.J.P.*
 Date **OCTOBER 16**
 Sheet No. **2** of **16**

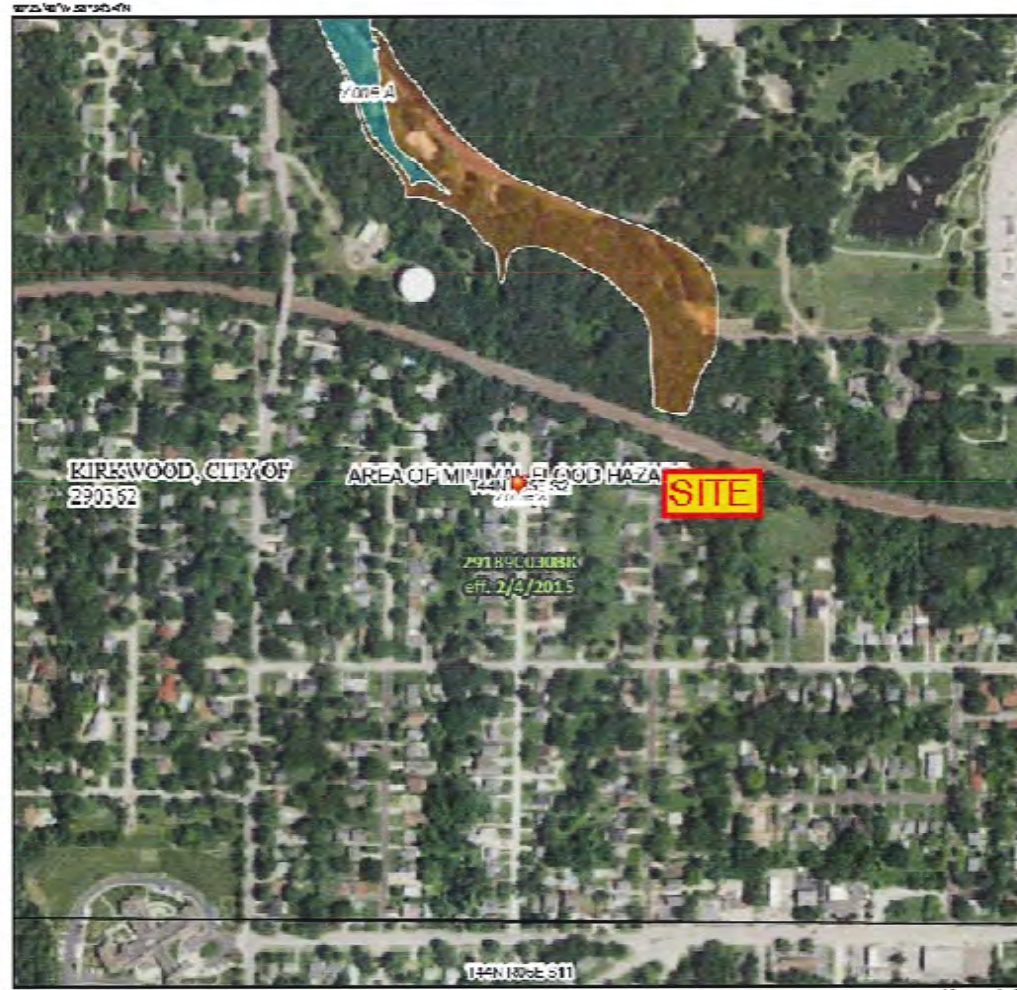
THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR BELOW, ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE, AND DISCLAIMS (PURSUANT TO SECTION 327.411 (RSMO)) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.



C4.2

TUBE 24N-C

National Flood Hazard Layer FIRMette



Legend

SEE PDF REPORT FOR DETAILED LEGEND AND RISK MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - W5-Peak Base Flood Elevation (BFE) Zone A, X, Z
 - W5-P Base Flood Elevation (BFE) Zone A, X, Z
 - Regulatory Floodway
- OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Areas of 2% Annual Chance Flood with average depths less than one foot or with average depths of less than one foot and a 1% chance of exceedance
 - Future Conditions 2% Annual Chance Flood Hazard Zone I
 - Area with Flooded Flood Risk due to Levee, Sec. 1083, Zone I
 - Area with Flood Risk due to Levee/Channel
- OTHER AREAS**
 - Area of Minimal Flood Hazard Zone I
 - Effective EIMRs
 - Area of Unexcavated Flood Hazard Zone I
- GENERAL STRUCTURES**
 - Channel, Outfall, or Storm Sewer Levee, Dike, or Retention Wall
- OTHER FEATURES**
 - Cross Sections with 2% Annual Chance
 - Water Surface Elevation
 - Outfall Transition
 - Base Flood Elevation (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Outfall Transition Baseline
 - Profile Baseline
 - Hydrograph Forecast
- MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

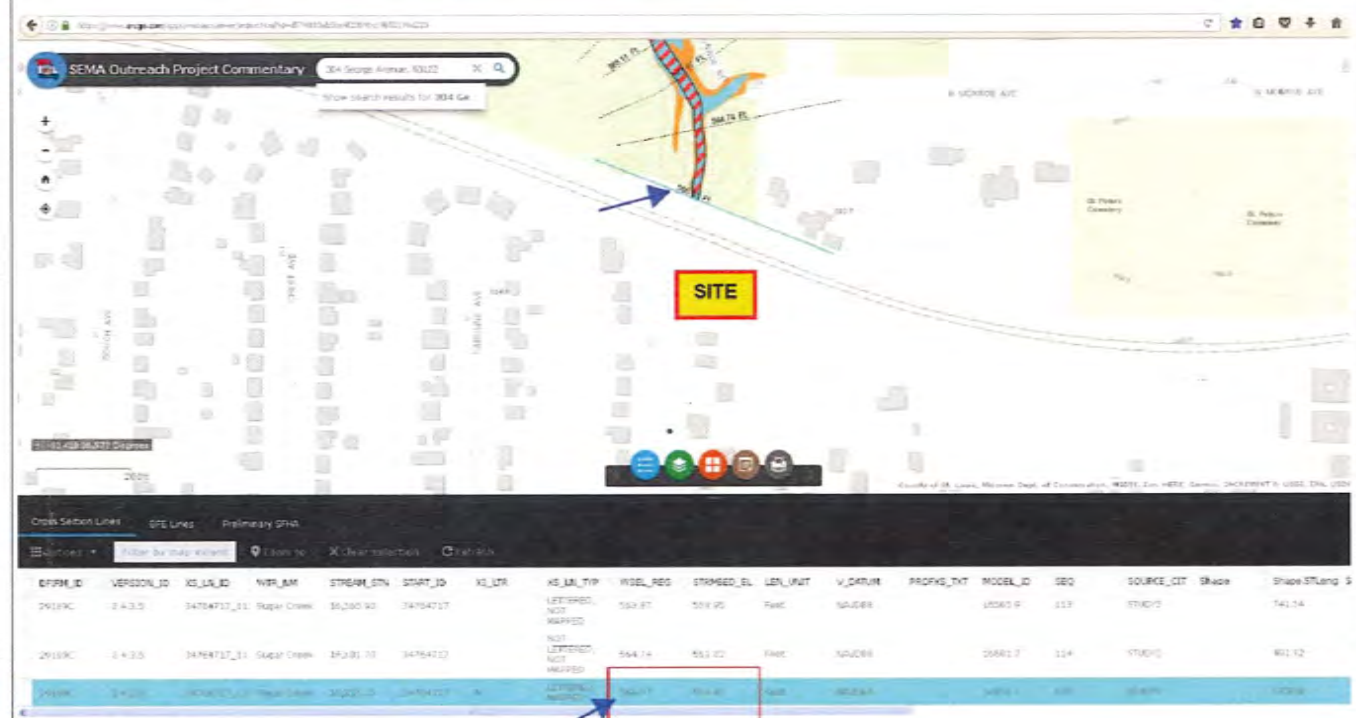
This map complies with FEMA's standards for the use of digital flood maps if it is not a standard base map. The base map shall comply with FEMA's standards for accuracy.

The flood hazard information is derived from digital elevation data and other data provided by FEMA. This map was updated on 10/10/2020 at 11:50:00 AM and does not reflect changes or other information subsequent to this date. The FEMA flood elevation information may change or be updated by FEMA at any time.

This map is valid if the site or area of the following map elements are not applicable: base map imagery, base map labels, legend, scale bar, map coordinate data, community identification, FIRMette number, and FIRMette effect date. Map images for unimproved areas are not available. See the FIRMette report for regulatory purposes.

FEMA

SEMA INFORMATION (PRELIMINARY)



ASSUME STREAMBED EL = FL BOX CULVERT = 564.41
 DEPTH FLOW IN BOX CULVERT = 566.97 - 564.41 = 2.56 FT SEEMS REASONABLE
 HEIGHT BOX = 5.05 FT THEREFORE EXPECT INLET CONTROL GOVERNS
 IF SAME DATUM: MSD UPSTREAM FL 565.46, DSTREAM SEMA = 564.41 SEEMS REASONABLE 2' FALL

SEMA



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FEMA FIRMETTE AND SEMA INFORMATION

Prepared For:
 MR. STEVE HAYES
 1422 N. KIRKWOOD ROAD
 KIRKWOOD, MO 63122
 Telephone: 314.965.5100
 Fax: 314.965.7822
 Email: STEVE@WINDENGINEERING.COM
 D.C.A. #E-1807-D

Prepared By:
 WIND ENGINEERING COMPANY

Rev.	Date	Description	PL Signature
1	10/11/2021	SEMA INFO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date:	10/11/2021
Field Work:	DS Field Check: PC
Drawn By:	PC C.S.O.: PC
Checked By:	DW
Project Number:	21046
Sheet Number:	C4.3
MSD P:	BASEMAP: 24N

EVALUATION OF PROPOSED FFFH AND ASSOCIATED VARIANCES BASED ON PROPOSED FRONT SETBACKS (W/ VARIANCE) AND PROPOSED FF (PER MSD REGULATIONS TO RESPECT HYDRAULIC CONCERNS)

304 GEORGE-AT PROPOSED HORIZONTAL SETBACKS

NO.	ADDRESS>	304	308	312	318	320	COMMENTS
HORIZONTAL							
1	MIN SETBACK PER R4 ZONING DISTRICT	35	35	35	35	35	
2	EXIST SETBACKS PER SURVEYS		52.8	51.4	100.1	35.4	NOTED 302-318 RESPECTED PRIOR OPEN DRAINAGEWAY, SINCE ENCLOSED
3	MAX PROJECTION MSD EASEMENT	37.4	41.48	41.48	41.48	25.9	PER SURVEY OR AS APPROX PER MSD PLANS
4	CALC SETBACK PER CODE	59.9					
5	PROPOSED SETBACKS	52.8					NOTED PRO SETBACK = 308 , > 312 + 320, << 318 (EXPECT 318 SITUATED BASED ON TOPOGRAPHY)
6	DELTA PRO V CALC (4-6)	7.1					VARIANCE REQUESTED BASED ON REAR YARD GRADES AND HISTORY OF PRIOR SETBACKS
7	PRO SETBACK TO MSD EASEMENT	15.4					WITH VARIANCE
VERTICAL (AT PROPOSED HORIZONTAL SETBACK)							
8	EXIST SPOT GRADE	576.92	575.15	575.08	586.66	586.64	AT ~ CENTER / ENTRY OF HOUSE, SUBJECT PROPERTIES AT PROPOSED HORIZ SETBACK (#5)
9	EXIST FF (LIVING AREA)		583.1	583.6	592.12	592.49	(1ST FLOOR) - 308 + 312 HAVE "REVERSE WALKOUTS"
10	CALC FFFH	6.95	7.95	8.52	5.46	5.85	
11	CALC FF	583.87					302 BASED ON 308 - 318; 304 BASED ON 308-320
12	EXIST BASEMENT/LOWER LEVEL ELEV		575.12	575.76	583.12	583.49	308 + 312 "REVERSE WALKOUTS"; 318 + 320 CALC'D AT ASSUMED 9 FT BELOW SURVEYED FF
13	CALC FFFH	2.99	(0.03)	0.68	5.46	5.85	ADJUSTED FOR #308 + # 312 AS "REVERSE WALKOUTS"
14	CALC FF	579.91					302 BASED ON 308 - 318; 304 BASED ON 308-320
15	FFFH = 24" > EXIST SPOT GRADE	2.00					CODE OPTION
16	CALC FF	578.92					24" > EXIST SPOT
17	100 YR HWEL	575.06	575.06	575.06	575.06	575.06	APPROX BACKWATER ELEV CONTROLLED BY EXISTING CULVERT UNDER RAILROAD
18	MSD CURRENT REGS, BF > 100 YR HWEL	1.0	1.0	1.0	1.0	1.0	IF NOT WALKOUT TO PREVENT HYDROSTATIC ISSUES AND SANITARY BACKUP, MSD REGS 5.010.07 (7)
19	MIN BF (PER MSD)	576.06	576.06	576.06	576.06	576.06	12" > HWEL (PROJECTED BACKWATER)
20	PRO BF ELEV	576.13					CONFORMS TO MSD REGULATIONS, ~ 1" > MIN
21	EXIST OR PRO BF/LL > 100 YR HWEL	1.07	0.06	0.7	8.06	8.43	HWEL AS PROJECTED BACKWATER, SEE SHEET C.5
22	EXIST OR PRO BF/LL VS MSD MIN BF	0.07	(0.94)	(0.30)	7.06	7.43	
23	MSD CURRENT REGS, LOW SILL > 100 YR HWEL	2.0	2.0	2.0	2.0	2.0	TO PREVENT DIRECT INFLOW, MSD REGS 5.010.07 (7)
24	MIN LOW SILL (PER MSD)	577.06	577.06	577.06	577.06	577.06	24" > HWEL (PROJECTED BACKWATER)
25	EXIST OR PRO LOW SILL	579.63	575.12	575.76	UNK	UNK	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
26	EXIST OR PRO LOW SILL > 100 YR HWEL	4.57	0.06	0.70	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
27	EXIST OR PRO LOW SILL VS MSD MIN LOW SILL	2.57	(1.94)	(1.30)	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
28	PRO FF	585.85					ESTABLISHED OFF BF (= MSD REGULATIONS)
29	CALC PRO FFFH	8.93					BASED ON PRO FF VS EXIST SPOT GRADES AT SETBACK
30	VARIANCE BASED ON #9 ABOVE	1.99					EXPECTED LIVING AREA (1ST FLOOR) 308 + 312
31	VARIANCE BASED ON #9 IF 12" UPWARD ADJUSTMENT	0.99					
32	CALC BF WITH 12" UPWARD ADJUSTMENT	575.15					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
33	CALC BF VS. MIN BF PER MSD	(0.91)					DOES NOT MEET MSD CRITERIA
34	VARIANCE BASED ON #12 ABOVE	5.94					BF / LL 308 + 312
35	VARIANCE BASED ON #12 IF 12" UPWARD ADJUSTMENT	4.94					
36	CALC BF WITH 12" UPWARD ADJUSTMENT	571.19					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
37	CALC BF VS. MIN BF PER MSD	(4.87)					DOES NOT MEET MSD CRITERIA
38	VARIANCE BASED ON #15 ABOVE	6.93					24" > EXIST SPOT
39	VARIANCE BASED ON #15 IF 12" UPWARD ADJUSTMENT	5.93					
40	CALC BF WITH 12" UPWARD ADJUSTMENT	570.20					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
41	CALC BF VS. MIN BF PER MSD	(5.86)					DOES NOT MEET MSD CRITERIA



DISCLAIMER
 THESE DRAWINGS ARE FOR AGENCY REVIEW AND UNTIL APPROVED ARE NOT FOR CONSTRUCTION.

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FFFH AND VARIANCES PER PROPOSED FRONT SETBACKS

Prepared by: WIND
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.963.5000
 Email: wind@windengr.com
 C.O.A. #E-1607-D

Presented for: Henrick Realty
 148 W. Main Street
 St. Louis, MO 63102
 e: stlv@henrickrealety.com
 o: (314) 266-5798

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED AND REMAIN THE PROPERTY OF WIND ENGINEERING. THEY MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.G.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C5.1

EVALUATION OF PROPOSED FFFH AND ASSOCIATED VARIANCES BASED ON FRONT SETBACKS PER CODE CALCULATIONS AND PROPOSED FF (PER MSD REGULATIONS TO RESPECT HYDRAULIC CONCERNS)

304 GEORGE- AT CODE CALCULATED HORIZONTAL SETBACKS

NO.	ADDRESS>	304	308	312	318	320	COMMENTS
HORIZONTAL							
1	MIN SETBACK PER R4 ZONING DISTRICT	35	35	35	35	35	
2	EXIST SETBACKS PER SURVEYS		52.8	51.4	100.1	35.4	NOTED 302-318 RESPECTED PRIOR OPEN DRAINAGEWAY, SINCE ENCLOSED
3	MAX PROJECTION MSD EASEMENT	37.4	41.48	41.48	41.48	25.9	PER SURVEY OR AS APPROX PER MSD PLANS
4	CALC SETBACK PER CODE	59.9					
5	OMITTED						
6	OMITTED						
7	PRO SETBACK TO MSD EASEMENT	22.5					W/O VARIANCE
VERTICAL (AT CODE CALC'D HORIZONTAL SETBACK)							
8	EXIST SPOT GRADE	575.76	575.15	575.08	586.66	586.64	AT ~ CENTER / ENTRY OF HOUSE, SUBJECT PROPERTIES AT CODE-CALC'D HORIZ SETBACK (#4)
9	EXIST FF (LIVING AREA)		583.1	583.6	592.12	592.49	(1ST FLOOR) - 308 + 312 HAVE "REVERSE WALKOUTS"
10	CALC FFFH	6.95	7.95	8.52	5.46	5.85	
11	CALC FF	582.71					302 BASED ON 308 - 318; 304 BASED ON 308-320
12	EXIST BASEMENT/LOWER LEVEL ELEV		575.12	575.76	583.12	583.49	308 + 312 "REVERSE WALKOUTS"; 318 + 320 CALC'D AT ASSUMED 9 FT BELOW SURVEYED FF
13	CALC FFFH	2.99	(0.03)	0.68	5.46	5.85	ADJUSTED FOR #308 + # 312 AS "REVERSE WALKOUTS"
14	CALC FF	578.75					302 BASED ON 308 - 318; 304 BASED ON 308-320
15	FFFH = 24" > EXIST SPOT GRADE	2.00					CODE OPTION
16	CALC FF	577.76					24" > EXIST SPOT
17	100 YR HWEL	575.06	575.06	575.06	575.06	575.06	APPROX BACKWATER ELEV CONTROLLED BY EXISTING CULVERT UNDER RAILROAD
18	MSD CURRENT REGS, BF > 100 YR HWEL	1.0	1.0	1.0	1.0	1.0	IF NOT WALKOUT TO PREVENT HYDROSTATIC ISSUES AND SANITARY BACKUP, MSD REGS 5.010.07 (7)
19	MIN BF (PER MSD)	576.06	576.06	576.06	576.06	576.06	12" > HWEL (PROJECTED BACKWATER)
20	PRO BF ELEV	576.13					CONFORMS TO MSD REGULATIONS, ~ 1" > MIN
21	EXIST OR PRO BF/LL > 100 YR HWEL	1.07	0.06	0.7	8.06	8.43	HWEL AS PROJECTED BACKWATER, SEE SHEET C.5
22	EXIST OR PRO BF/LL VS MSD MIN BF	0.07	(0.94)	(0.30)	7.06	7.43	
23	MSD CURRENT REGS, LOW SILL > 100 YR HWEL	2.0	2.0	2.0	2.0	2.0	TO PREVENT DIRECT INFLOW, MSD REGS 5.010.07 (7)
24	MIN LOW SILL (PER MSD)	577.06	577.06	577.06	577.06	577.06	24" > HWEL (PROJECTED BACKWATER)
25	EXIST OR PRO LOW SILL	579.63	575.12	575.76	UNK	UNK	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
26	EXIST OR PRO LOW SILL > 100 YR HWEL	4.57	0.06	0.70	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
27	EXIST OR PRO LOW SILL VS MSD MIN LOW SILL	2.57	(1.94)	(1.30)	N/A	N/A	302+304 BASED ON PRO GRADES/DRAINAGE REAR YARDS; 319 + 320 NOT EVALUATED AS BF >> HWEL
28	PRO FF	585.85					ESTABLISHED OFF BF (= MSD REGULATIONS)
29	CALC PRO FFFH	10.09					BASED ON PRO FF VS EXIST SPOT GRADES AT SETBACK
30	VARIANCE BASED ON #9 ABOVE	3.15					EXPECTED LIVING AREA (1ST FLOOR) 308 + 312
31	VARIANCE BASED ON #9 IF 12" UPWARD ADJUSTMENT	2.15					
32	CALC BF WITH 12" UPWARD ADJUSTMENT	573.99					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
33	CALC BF VS. MIN BF PER MSD	(2.07)					DOES NOT MEET MSD CRITERIA
34	VARIANCE BASED ON #12 ABOVE	7.10					BF / LL 308 + 312
35	VARIANCE BASED ON #12 IF 12" UPWARD ADJUSTMENT	6.10					
36	CALC BF WITH 12" UPWARD ADJUSTMENT	570.03					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
37	CALC BF VS. MIN BF PER MSD	(6.03)					DOES NOT MEET MSD CRITERIA
38	VARIANCE BASED ON #15 ABOVE	8.09					24" > EXIST SPOT
39	VARIANCE BASED ON #15 IF 12" UPWARD ADJUSTMENT	7.09					
40	CALC BF WITH 12" UPWARD ADJUSTMENT	569.04					BF = CALC'D FF (=PRO FF MINUS VARIANCE) MINUS 9.72 FT)
41	CALC BF VS. MIN BF PER MSD	(7.02)					DOES NOT MEET MSD CRITERIA



DISCLAIMER
 THESE DRAWINGS ARE FOR
 AGENCY REVIEW AND UNTIL
 APPROVED ARE NOT FOR
 CONSTRUCTION.

304 GEORGE AVE
 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO
 FFFH AND VARIANCES CODE-CALCULATED FRONT SETBACK

Prepared by: WIND ENGINEERING COMPANY
 122 N. Kirkwood Road
 Kirkwood, MO 63122
 Telephone: 314.982.7692
 Email: wind@windengr.com
 C.O.A. #E-1807-D

Submitted to: Henrick Realty
 446 BAUMGARTNER ROAD, SUITE 113
 ST. LOUIS, MO 63119
 Phone: 314.982.7692
 Email: stlouis@henrick.com
 C.O.A. #E-1807-D

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY
 COPYRIGHT 2021
 THESE DESIGNS AND DRAWINGS ARE
 COPYRIGHTED AND REMAIN THE PROPERTY
 OF WIND ENGINEERING. THEY MAY NOT
 BE USED OR REPRODUCED WITHOUT
 WRITTEN CONSENT.

Date: 10/11/2021
 Field Work: DS Field Checked: PC
 Drawn By: PC C.S.O.: PC
 Checked By: DW
 Project Number: 21046
 Sheet Number: C5.2
 MSD P: BASMAP-24N



 OCT 11 2021

 CITY OF KIRKWOOD

 PUBLIC WORKS

 CITY OF KIRKWOOD



#1



#2



#3



#4



#5



#6



#7



#8



#9



#10



#11



#12



#13



#14



#15



#16



CITY'S EXHIBIT NO. 8



DISCLAIMER

 THESE DRAWINGS ARE FOR

 AGENCY REVIEW AND UNTIL

 APPROVED ARE NOT FOR

 CONSTRUCTION.

Prepared By:

 WIND ENGINEERING COMPANY

 122 N. Kirkwood Road

 Kirkwood, MO 63122

 Telephone: 636.931.7892

 Fax: 636.931.7892

 Email: wind@windengr.com

 C.O.A. #E-1607-D

Prepared For:

 Mr. Steven Havel

 498 Baldwin Drive

 St. Louis, MO 63119

 e: sthavel@windengr.com

 M: 636.464.4113

 D: 636.268.7398

304 GEORGE AVE

 CITY OF KIRKWOOD, ST. LOUIS COUNTY, MO

 EXISTING CONDITIONS INCLUDING ADJOINING HOMES

No.	Date	Description	P.E. Signature
1	10/11/2021	SUBMIT TO BOARD OF ADJUSTMENT	

WIND ENGINEERING COMPANY

 COPYRIGHT 2021

 THESE DESIGNS AND DRAWINGS ARE

 COPYRIGHTED AND REMAIN THE PROPERTY

 OF WIND ENGINEERING. THEY MAY NOT

 BE USED OR REPRODUCED WITHOUT

 WRITTEN CONSENT.

Date: 10/11/2021

 Field Work: DS Field Checked: PC

 Drawn By: PC C.S.O.: PC

 Checked By: DW

 Project Number: 21046

 Sheet Number: C3.1

MGD-P: BAEHAP-24N

Case Summary

Case Number	30-2021				
Zoning District	R-4				
Project Address	1231 Simmons				
Applicant Name	John Rutledge				
Property Owner	John Rutledge				
Article	VI	Section	25-47	Sub-Section	25-47(d)(7)
Variance Request	Front yard encroachment for a covered front porch addition				
Required	52.09' (existing non-conforming; 63.51' is the average front setback)				
Proposed	44.09'				
Variance Requested	8' (19.42' in front of the average front setback)				

History of address: N/A

Summary Approved by:

Labels printed _____

Letter mailed on _____

300 ft. notice mailed on _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122

***An appointment with staff is required prior to the submittal of a variance application to assist in preparing your submittal information. Please contact Amy Lowry, Planner II at 314-822-5815 to schedule an appointment.**

Action Requested:

- Variance of Zoning Code**
 - \$240** non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools
 - \$500** non-refundable filing fee for all others not listed above,
 - \$50** fee for each additional variance request on the same application.
- Variance of Fence Code- \$200** non-refundable filing fee (per Code §5-45(c))
- Appeal the decision of the Building Commissioner - \$240** non-refundable filing fee
- Appeal the interpretation of the Zoning Code - \$500** non-refundable filing fee

Project Address 1231 Simmons Ave

Type of Work: New Construction Addition Other _____

Type of Structure: Single-family Multi-family Commercial Accessory
 Other _____

Has a previous variance application been filed on these premises within the last three (3) years?
 Yes No *If yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name John Rutledge Phone 636 675 3057

Address 1231 Simmons

City/State/Zip Kirkwood MO 63122 E-mail john.rutledge33@gmail.com

Applicants Signature [Signature] Date 10/10/21

Property Owner Information (if different from above):

Name _____ Phone _____

Address _____

City/State/Zip _____ E-mail _____

Owner's Signature [Signature] Date 10/10/21

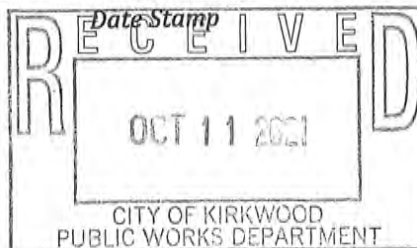
City Use Only

Meeting Date: Nov 8, 2021

Case#: 30-2021

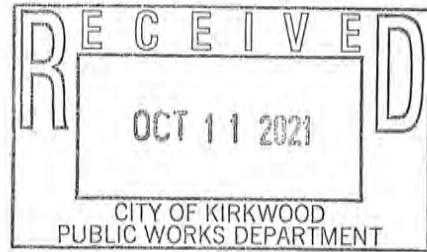
Zoning District: R-4

Received by: [Signature]



CITY'S EXHIBIT NO. 1

RE: 1231 Simmons Ave Variance Request
10/10/2021



To the Kirkwood Board of Adjustment,

My wife and I recently purchased the property at 1231 Simmons Avenue in Kirkwood. Our intention is to remodel the home for ourselves and move in once it is finished. In order to maximize the home's current footprint we would like to add some additional living space to the front of the home by enclosing the existing front porch and add a new, more traditional porch. The new porch addition would extend the front of the house approximately 10 feet. This would be approximately 42' from the front boundary of the property.

Most of the original homes along the west side of Simmons were all built extremely far back from the street and close to the rear boundary of the properties for some unknown reason. The houses to the left and right of 1231 Simmons are both extremely far from the street and push up against the rear property boundary. There is simply no room to build on to the back of any of the homes on the west side of Simmons.

We would also like to update the appearance of the home giving it more traditional craftsman look.. The current porch as it exists was a rather odd choice when built and gives the home an outdated and unappealing look.

What we are asking for is a variance to the requirement that homes not be closer to the front boundary of the property than an average of the distance of the immediate neighboring homes. As you will see in the pictures and when you visit the home, there are currently 7 newer homes and 1 home currently being built on this section of Simmons that have all received the same variance that my wife and I are requesting. We believe our request is a balanced one that allows us to keep an old, existing home and also gives us just enough leeway to create a much more updated, appealing and traditional front elevation.

Please find attached all the requested documentation. We have also included pictures of a few other homes on the west side of Simmons that have previously received a similar variance.

We look forward to answering any questions you may have as well.

Sincerely,

John and Susan Rutledge



WHERE COMMUNITY AND SPIRIT MEET®

October 25, 2021

John Rutledge
1231 Simmons Ave.
Kirkwood, MO 63122

Sent via email to: john.rutledge33@gmail.com

RE: Variance Requests
Case No. 30-2021
1231 Simmons Ave.
Zoning District R-4

Dear Mr. Rutledge:

Your variance request from the Kirkwood Board of Adjustment has been set for Public Hearing on November 8, 2021, at 7:00 p.m. **This meeting will be in person at Kirkwood City Hall.** The Board of Adjustment is a duly constituted body with certain powers to grant a variance, which will permit a deviation from fixed standards, when the applicant can demonstrate to the Board that the standards set forth below will result in a practical difficulty. These powers are set forth in Article II, Section 25-24 of the Zoning and Subdivision Code of the City of Kirkwood; please refer to that section for any further information as to the powers of the Board as they apply to your variance.

You or your representative shall, at the time and place above, present all evidence that may have a bearing upon this case and that you believe to be relevant. This may include oral testimony under oath as well as the introduction of any documents or other records that you believe to be related to the proceedings. The burden of proof lies with the applicant. All proceedings before the Board are formal in that all testimony is under oath and a court reporter will make a verbatim transcript of all matters that are presented before the Board.

Article VI, Section 25-47, Sub-Section 25-47(d)(7) of the Zoning Code permits unenclosed porches not more than one story in height to encroach up to 10 feet measured from the conforming setback line. In this instance, the conforming setback line is determined by averaging the front yard setbacks of the two adjacent improved lots. The conforming setback is 63.51 feet, allowing a porch to encroach to 53.51 feet. Your front yard setback is already non-conforming at 52.09 feet and the new covered front porch you wish to construct is proposed to be 44.09 feet from the front property line. This is 8' in front of your existing house and 19.42 feet greater than the conforming setback that the Zoning Code allows.

CITY'S EXHIBIT NO. 3

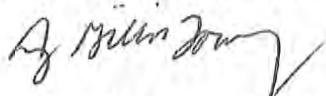
Article II, Section 25-24(c)(1) of the Zoning and Subdivision Code allows the Board of Adjustment to consider the following factors to determine whether a practical difficulty exists that would justify approval of an area or dimensional variance:

- (i) Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district. Examples of such special conditions or circumstances are exceptional irregularity; narrowness, shallowness or steepness of the lot; or proximity to non-conforming and inharmonious uses, structures or conditions;
- (ii) Whether the variance is not substantial and is the minimum necessary to make possible the reasonable use of the land or structures;
- (iii) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- (iv) Whether the variance would adversely affect the delivery of governmental services such as water, sewer, trash pickup;
- (v) Whether the property owner's request can be obviated through some method other than a variance;
- (vi) Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance; and
- (vii) Whether a strict interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this code.

I have attached the agenda for the meeting. Please contact me if you have any questions with regard to this matter before the public hearing.

Sincerely,

CITY OF KIRKWOOD



Amy Gillis Lowry, AICP
Planner II

Encl. Meeting Agenda

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF ST. LOUIS

} S.S.

Page 1 of 1

Before the undersigned Notary Public personally appeared **Stephen Pope** on behalf of **THE COUNTIAN, ST. LOUIS COUNTY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **October 22, 2021** edition and ending with the **October 22, 2021** edition, for a total of 1 publications:

10/22/2021

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT CITY OF KIRKWOOD, MISSOURI

The Board of Adjustment of the City of Kirkwood will hold a Public Hearing in the City Hall Council Chambers, 139 S. Kirkwood Road, on November 8, 2021, at 7:00 P.M. to consider the following:

New Business

Case No. 26-2021 - 429 Miriam Ave.
- rear yard setback variance for an addition.

Case No. 27-2021 - 886 Dewberry Ct. - rear yard setback variance for an addition.

Case No. 28-2021 - 302 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 29-2021 - 304 George Ave.
- front yard setback and finished first floor height variances for new single-family residence

Case No. 30-2021 - 1231 Simmons Ave. - front yard encroachment variance for a porch

Such hearing may be adjourned from time to time until completed.

Questions may be directed to Amy Lowry at 314-822-5815 or lowryag@kirkwoodmo.org.

BY ORDER OF: Joe Roeser, Secretary - Board of Adjustment Kirkwood, Missouri, October 22, 2021. The City of Kirkwood is interested in effective communication for all persons.

Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.

12046977 County Oct 22, 2021

Stephen Pope

Stephen Pope

Subscribed & sworn before me this 22nd day of Oct, 2021

(SEAL)

Chanel Jones

Notary Public

CHANEL JONES
Notary Public - Notary Seal
State of Missouri
Commissioner for St. Louis County
My Commission Expires: August 08, 2022
Commission Number: 14807721

CITY'S EXHIBIT NO. 4

City of Kirkwood Basemap



10/21/2021 10:11:40 AM

- Parcels
- Street Centerlines
- Landmarks
- Districts
- National Register
- Local Register
- Landmarks

CITY'S EXHIBIT NO. 5

VYN MICHAEL J & AMY D T/E
1204 SIMMONS AVE
SAINT LOUIS, MO 63122

SIEBEL JOHN M & JANE HELEN ...
5218 NOTTINGHAM AVE
SAINT LOUIS, MO 63109

CASE GARY D & KIM H/W
1231 SIMMONS AVE
SAINT LOUIS, MO 63122

LENZ BRIAN A
1215 FOLGER AVE
SAINT LOUIS, MO 63122

CASE GARY & KIM H/W
1231 SIMMONS AVE
SAINT LOUIS, MO 63122

CLYDE THOMAS E MAUREEN A...
1238 N GEYER RD
SAINT LOUIS, MO 63122

MCL PROPERTIES LLC
530 WARREN AVE
SAINT LOUIS, MO 63130

GUARIGLIA NANCIE R & ARTHU...
1226 N GEYER RD
SAINT LOUIS, MO 63122

AMANDA SCHNABEL
1301 SIMMONS AVE
SAINT LOUIS, MO 63122

MCL PROPERTIES LLC
530 WARREN AVE
SAINT LOUIS, MO 63130

MUELLER PAUL & LISA K H/W
1222 SIMMONS AVE
SAINT LOUIS, MO 63122

DESCHLER KRISTINE
1300 N GEYER RD
SAINT LOUIS, MO 63122

MCDOUGALL DOUGLAS & JEA...
1214 SIMMONS AVE
SAINT LOUIS, MO 63122

HANLEY THOMAS M & ELIZABE...
945 DES PERES RD
SAINT LOUIS, MO 63131

MACKLIN SHARON TRUSTEE
1305 SIMMONS AVE
SAINT LOUIS, MO 63122

JEEVANANDAN ASHWINI
1221 FOLGER AVE
SAINT LOUIS, MO 63122

HARMON SANDRA A
1227 SIMMONS AVE
SAINT LOUIS, MO 63122

LUSTER ANTHONY T & ASHLEY...
1323 LAVEN DEL LN
SAINT LOUIS, MO 63122

CHAMBERS ROOSEVELT
1142 WHITMOOR DR
SAINT CHARLES, MO 63304

KEEFE PATRICK & LARGURA M...
1228 SIMMONS AVE
SAINT LOUIS, MO 63122

DAVID RYAN RAZ BEN
1311 SIMMONS AVE
SAINT LOUIS, MO 63122

TANNER MARK A & MARTHA C ...
626 SCOTTSDALE RD
SAINT LOUIS, MO 63122

SCHROEDER RANDALL W TR
1232 N GEYER RD
SAINT LOUIS, MO 63122

FLORMAN RAYMOND E INGRID...
1310 N GEYER RD
SAINT LOUIS, MO 63122

GREENSTAR MANAGEMENT L L...
544 LINDEMAN RD
SAINT LOUIS, MO 63122

GRIFFIN DAVID PROPERTIES L ...
8815 PARAGON CIR
SAINT LOUIS, MO 63123

MCBRIDE GEORGE M JANET S...
1314 N GEYER RD
SAINT LOUIS, MO 63122

JAMES JONATHAN D & SOHN C...
1225 FOLGER AVE
SAINT LOUIS, MO 63122

BEARFIELD CAROL
408 BELVA AVE
SAINT LOUIS, MO 63122

DAUB MARCELLA M
1315 SIMMONS AVE
SAINT LOUIS, MO 63122

MCBRIDE GEORGE M JANET S...
1314 N GEYER RD
SAINT LOUIS, MO 63122

VILLA DI MARIA MO CORP
1280 SIMMONS AVE
SAINT LOUIS, MO 63122

LAKWOOD PROPERTY L L C
1200 LAKE ST LOUIS BLVD SUIT...
LAKE SAINT LOUIS, MO 63367

VILLA DI MARIA MO CORP
1280 SIMMONS AVE
SAINT LOUIS, MO 63122

BERNSEN JULIE
1327 SIMMONS AVE
SAINT LOUIS, MO 63122

JONES JAMES D & KATHLEEN B...
1320 N GEYER RD
SAINT LOUIS, MO 63122

HARDY SARA T REVOCABLE T...
1214 N GEYER RD
SAINT LOUIS, MO 63122

MURPHY FAMILY REVOCABLE T...
1203 SIMMONS AVE
SAINT LOUIS, MO 63122

INGRAHAM MARIE ROBERT F ...
1206 N GEYER RD
SAINT LOUIS, MO 63122

PLATZ JOSEPH JOHN & TATSU...
1210 N GEYER RD
SAINT LOUIS, MO 63122

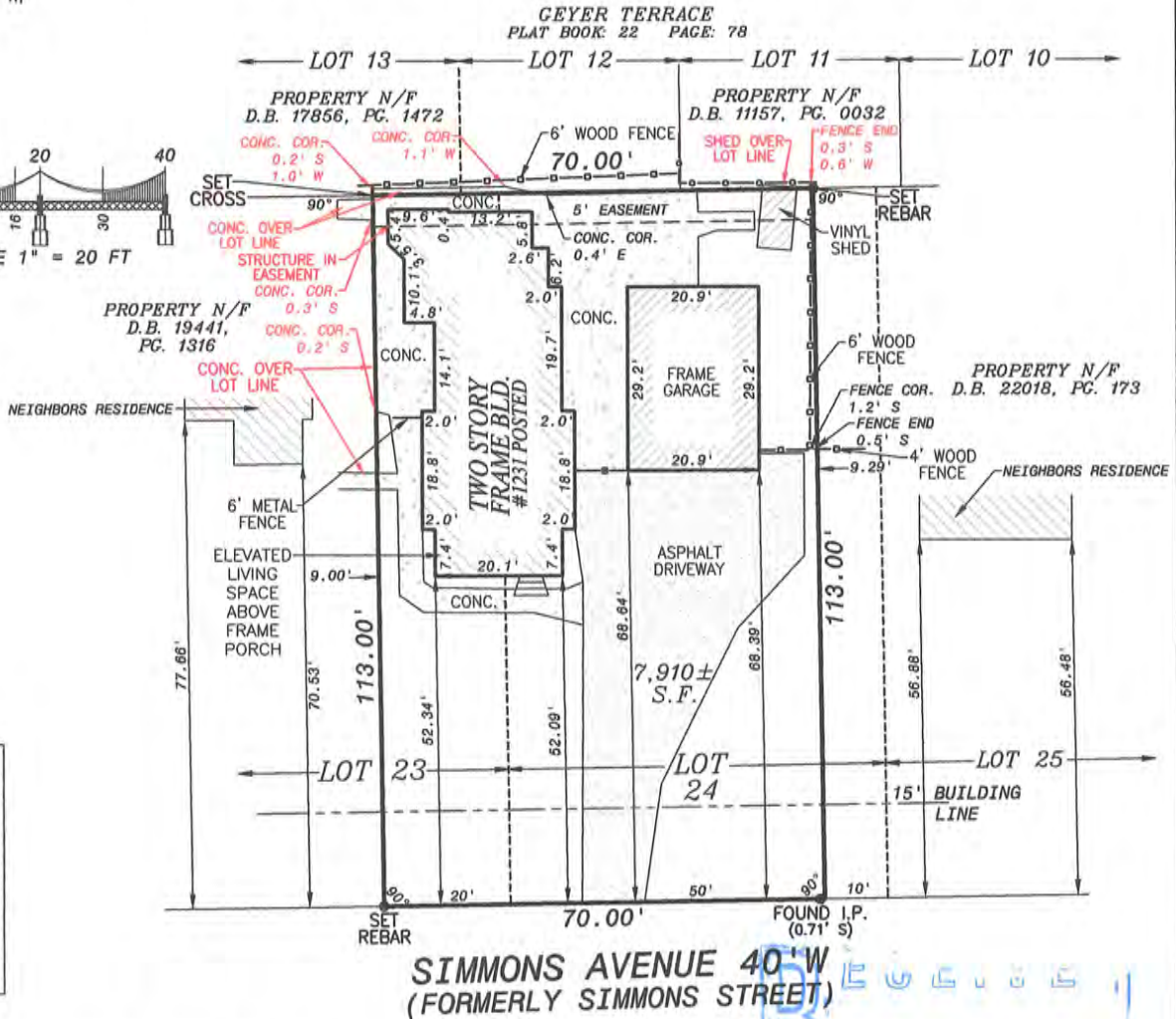
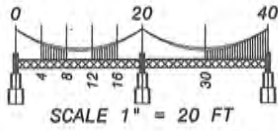
HARTMAN JASON & EMILY T/E
1209 SIMMONS AVE
SAINT LOUIS, MO 63122

SCHINZING PROPERTIES 1213 ...
654 N KIRKWOOD RD
SAINT LOUIS, MO 63122

BOUNDARY AND IMPROVEMENT SURVEY

**THE NORTH 20 FEET OF LOT 23 & THE SOUTH 50 FEET OF LOT 24
IN BLOCK 5 OF RIDGEVIEW SCHOLLMMEYER'S
RESUBDIVISION OF MANCHESTER ADDITION**

PLAT BOOK: 21 PAGE: 44



1"=0.08'
2"=0.16'
3"=0.25'
4"=0.33'
5"=0.42'
6"=0.50'
7"=0.58'
8"=0.67'
9"=0.75'
10"=0.83'
11"=0.92'
12"=1.00'

**SIMMONS AVENUE 40' W
(FORMERLY SIMMONS STREET)**



SCHEDULE B SECTION II SPECIAL EXCEPTIONS:
NONE.

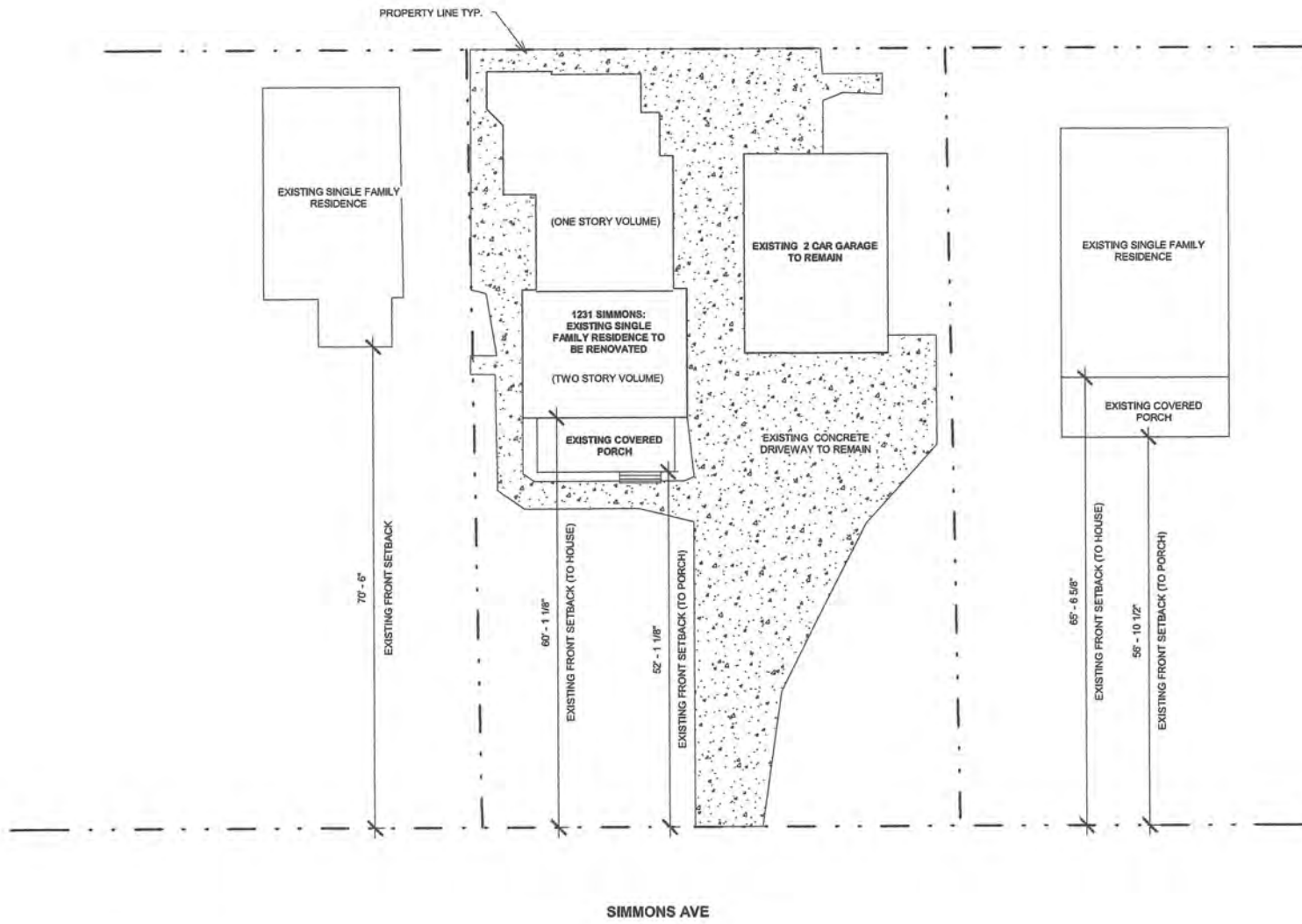
ADDITIONAL MONUMENTATION FOUND:
-Found an Iron Pipe at the Northeast corner of Lot 15. Adopted as 0.16' W
-Found a Rebar at the Northeast corner of Lot 18. Adopted as 0.18' W
-Adopted an Iron Pipe at the Northeast corner of Lot 20.

SOURCE OF RECORD DESCRIPTION:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO.: 21-293117-MK, COMMITMENT DATE: 06/25/2021 AT 08:00 AM

GENERAL NOTES:	BASIS OF BEARING OR ANGLES:
I.P. = IRON PIPE I.R. = IRON ROD (R) = RECORD (S) = SURVEYED (NR) = NON-RADIAL SURVEYOR'S STATEMENT:	RIDGEVIEW SCHOLLMMEYER'S RESUBDIVISION OF MANCHESTER ADDITION PLAT BOOK: 21 PAGE: 44 DATE: 08/08/2021
<p>THIS IS TO CERTIFY TO JONI REALTY COMPANY, LINDELL BANK, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND TITLE PARTNERS AGENCY THAT AT THEIR REQUEST, MERIDIAN SURVEYING SERVICES LLC., HAS DURING THE MONTH OF AUGUST, 2021, EXECUTED A RESURVEY OF PART OF LOT 23 & 24 IN BLOCK 5 OF RIDGEVIEW SCHOLLMMEYER'S RESUBDIVISION OF MANCHESTER ADDITION, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 21, PAGE 44 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, TOGETHER WITH THE LOCATION OF IMPROVEMENTS THEREON, IMPROVEMENT OWNERSHIP IS BASED OFF OF FIELD OBSERVATIONS THAT HAVE NOT BEEN VERIFIED WITH PROPERTY OWNER(S), THE FENCE OWNERSHIP IS NOT IDENTIFIED, FENCE HEIGHTS INDICATED ARE APPROXIMATE, UNLESS OTHERWISE INDICATED, FENCES INTERSECTING PROPERTY LINE(S) ARE CONNECTIVE IN NATURE, AND THAT THE RESULTS OF SAID RESURVEY ARE SHOWN ON THE ABOVE PLAT. THIS RESURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR AN URBAN CLASS PROPERTY. PRIOR TO ANY CONSTRUCTION, THE ZONING AUTHORITY SHOULD BE CONSULTED TO VERIFY CURRENT RESTRICTIONS. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY AND THOSE NOTED ABOVE. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTES, AGENCIES, PARTIES, OR SUBSEQUENT OWNERS.</p>	
Meridian Surveying Services LLC (agent) (agent) Lee C. Ferrenbach III General Manager	

 MERIDIAN LAND SURVEYING 21 POINT WEST BLVD ST. CHARLES, MO 63301 PHONE: 636-939-2900 FAX: 636-946-9099 WWW.MERIDIANLANDSURVEYING.COM © 2021 MERIDIAN SURVEYING SERVICES, LLC CORPORATE LICENSE NO. 2010021844	DRAFTER: DKL DATE: 09/28/2021	REVIEWED BY: LCF DRAWING NO.: 01	FIELD CREW: KAT/ALK/IKTC PROJECT NO.: 72000R1
			SHEET 1 OF 1

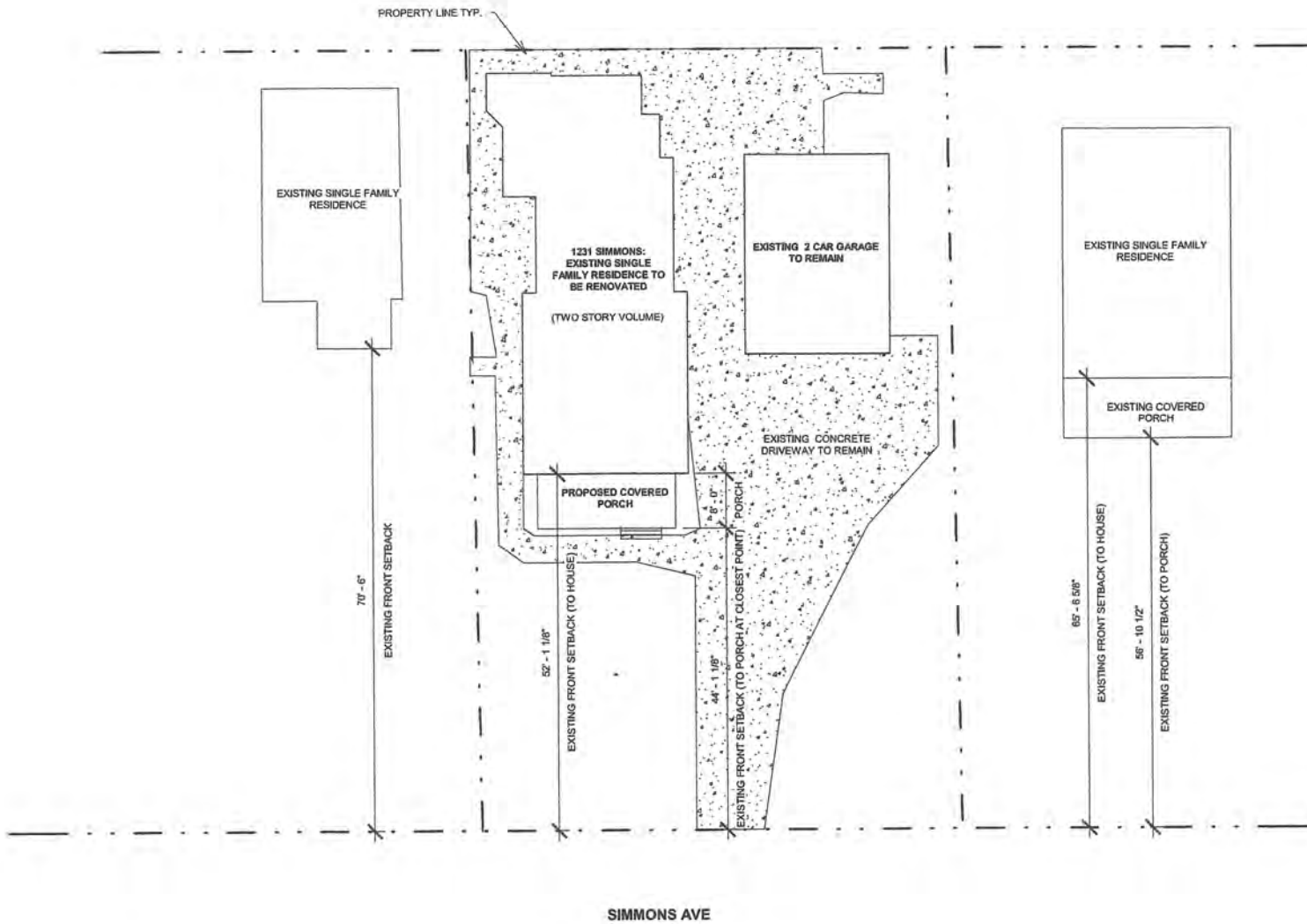
CITY'S EXHIBIT NO. 6



LOT SIZE: 7,910 SQUARE FEET
 EXISTING F.A.R: 1,797 SQUARE FEET (22.7%)
 EXISTING LOT COVERAGE: 1,918 SQUARE FEET (24.2%)

1 Exhibit A- Existing Site Plan
 1/16" = 1'-0"

CITY'S EXHIBIT NO. 7



LOT SIZE: 7,910 SQUARE FEET
 PROPOSED F.A.R.: 2,620 SQUARE FEET (33.1%)
 PROPOSED LOT COVERAGE: 2,107 SQUARE FEET (26.6%)

① Exhibit B- Proposed Site Plan
 1/16" = 1'-0"



RECEIVED
OCT 11 2021
CITY OF KIRKWOOD
PUBLIC WORKS DEPARTMENT

CITY'S EXHIBIT NO. 8

