

Case Summary

Case Number		15-2020			
Zoning District		R-4			
Project Address		423 Central Place			
Applicant Name		Agape Construction			
Property Owner		Joshua & Sarah Kaplan			
Article	IV	Section	A-430	Sub-Section	430.7
Variance Request		Front yard encroachment for a covered porch			
Required		40.93' (existing non-conforming; 42.12' is the average front setback)			
Proposed		37.82'			
Variance Requested		3.11'			

History of address: N/A

Summary Approved by: AGL

Labels printed _____

Letter mailed on _____

300 ft. notice mailed on _____



Board of Adjustment Variance Application

139 S. Kirkwood Rd. Kirkwood, MO 63122 (314) 822-5823 Fax (314) 822-5898

*An appointment with staff is required prior to the submittal of a variance application. Your meeting with staff will assist you in preparing your submittal information. Please contact Amy Lowry, Assistant City Planner at 314-822-5815 to schedule an appointment.

City Use Only Meeting Date June 8, 2020 Case# 15-2020 Zoning District R-4

Action Requested:

Variance of Zoning Code

- \$240 non-refundable filing fee for additions/alterations to existing single-family structures and for accessory structures such as shed, garages, and swimming pools
- \$500 non-refundable filing fee for all others not listed above,
- \$50 fee for each additional variance request on the same application.
- Variance of Fence Code- \$200 non-refundable filing fee (per Code §5-45(c))
- Appeal the decision of the Building Commissioner - \$240 non-refundable filing fee
- Appeal the interpretation of the Zoning Code - \$500 non-refundable filing fee

Project Address 423 Central Place Kirkwood, MO 63122

Type of Work: New Construction Addition Other covered porch

Type of Structure: Single-family Multi-family Commercial Accessory Other _____

Has a previous variance application been filed on these premises within the last three (3) years?
 Yes No *If yes, provide available information that may affect this application.

I hereby certify that all the information provided, including that contained in any supporting documents submitted, is true and accurate to the best of my knowledge and belief.

Applicant Information: Property Owner Occupant Contractor Architect Other _____

Name Agape Construction Phone (314) 989-9050

Address 435 E. Clinton Place

City/State/Zip Kirkwood, MO 63122 E-mail tracy@buildagape.com

Applicants Signature Ryan Phlips Date 5-11-2020

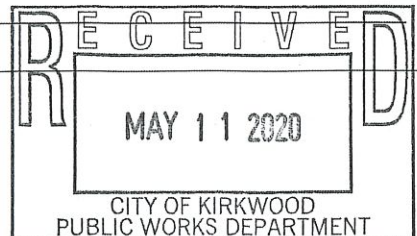
Property Owner Information (if different from above):

Name Joshua Esther Kaplan Phone (314) 304-2028

Address 423 Central Place

City/State/Zip Kirkwood, MO 63122 E-mail joshuakaplan@clarter.net

Owner's Signature [Signature] Date _____



Received by: AGL

VARIANCE(S) REQUESTED:

Setback (front, side, rear)	Required	Requested	Variance Needed	Code Section
see attached letter				430.7 (a)

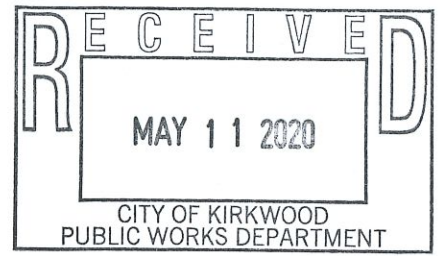
Setback (front, side, rear)	Required	Requested	Variance Needed	Code Section

Setback (front, side, rear)	Required	Requested	Variance Needed	Code Section

Other:	Code Section:
Describe:	

BOARD OF ADJUSTMENT - SUBMITTAL SCHEDULE- 2020 - Schedule is subject to change

LAST DATE FOR SUBMITTAL*	BOARD OF ADJUSTMENT MEETING DATE**
December 16, 2019	January 13, 2020
January 13, 2020	February 10, 2020
February 10, 2020	March 9, 2020
March 16, 2020	April 13, 2020
April 13, 2020	May 11, 2020
May 11, 2020	June 8, 2020
June 15, 2020	July 13, 2020
July 13, 2020	August 10, 2020
August 17, 2020	September 14, 2020
September 14, 2020	October 12, 2020
October 12, 2020	November 9, 2020
November 16, 2020	December 14, 2020
December 14, 2020	January 11, 2021



Variance Letter for 423 Central Ave, Kirkwood, Mo 63122

The property at 423 Central Ave was built in 1984 according to county records and sets on a lot that is 60 foot wide and 159 feet deep. The house's set back is 40.93 feet from the front property line, behind the required 40 foot building line.

The house immediately to the east sets at 39.70 feet from the front property line.. The previous house to the west, which was torn down, had a set back of 39.73. This means that the subject house was a CONFORMING IMPROVED LOT until the new house was added.

The owners wish to build a ten foot deep front porch (in front of the portion set back at 47.82 feet) , which would have been allowed under the previous interpretations of the code. **Homes which are conforming are allowed to have a front porch protruding up to ten feet in front of the front set back.** In this case the requested porch would only have protruded **2.07 feet in front of the 40 foot set back.**

The homeowners had a vested interest in assuming they could build a front porch. However, the neighbor to the west sold the house and a developer built a new house. The NEW house sets 44.53 feet from the front property line.

The city is applying the following code to this situation.

Section 430.7 (2) addresses front yard set backs.

(d) in blocks with more than 40% of the frontage developed the depth of the primary front yard set back, as defined above, shall be adjust in the following manner.

(i) The front yard setback distance for and interior LOT located between two IMPROVED LOTS shall be determined by averaging the front yard set backs of the two IMPROVED LOTS as depicted in the figures.

What follows are several diagrams with EMPTY LOTS adjoined by IMPROVED LOTS.

Applying this to the subject at hand makes sense if it refers to a EMPTY LOT. In other places the code refers to an IMPROVED LOT, which would have a house on it. A LOT, would therefore be an unimproved, or vacant space. However, that is not the case regarding this property.

We would argue that the INTENT of this section is to control new homes being built on a developed street from being closer to the front property line than the existing homes on either side.

It was NOT the intent to create non conforming houses, from those who were conforming before a neighbor decided to build a house further back! Nor was it the intent to withdraw from those conforming houses, the benefits regarding front porches! In doing so, the city has taken away a vested interest of a home owner to

have what neighbors around them may build, and what they could have had before the new home was built.

The city is depriving the homeowner of what was accessible to them before the city allowed a new home to be built. The city has taken away a right of the homeowner!

The city has required the homeowner to submit for a variance in order to build the proposed garage based on these ordinances. A Variance requires a hardship basis for relief. However, in this case, the burden is on the city, not the homeowner, because the city created the hardship. It is therefore onerous to require the homeowner to produce evidence of a hardship. This situation must be remedied.

Four years ago, this house with the SAME footprint and the SAME set backs, was conforming, and could have built the desired porch.

Now, the city has deemed that it is NON CONFORMING!, through no fault or change by the owner.

We respectfully request that relief be given to allow the homeowner to build a front porch that is **4'-3 7/8" in front of the new "adjusted" front set back.**

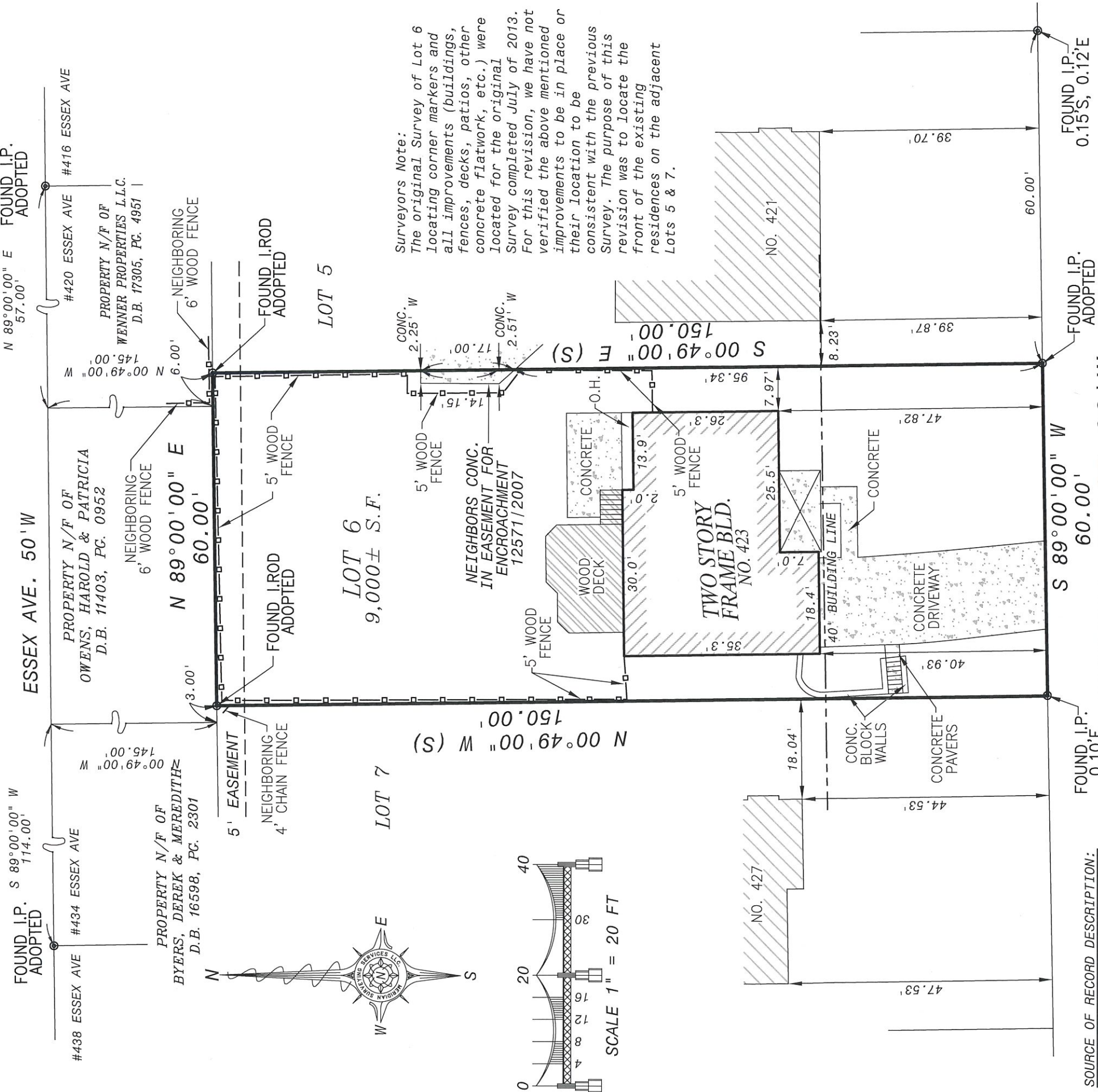
Respectfully submitted,
Laurie G Smith
Senior Architect, Agape Construction Co.

Attachments:

Survey of subject property
Site plan with proposed porch addition.
Survey showing set backs of adjoining properties
Letters of support from neighbors
Aerial Photograph of subject property on the street.

BOUNDARY AND IMPROVEMENT SURVEY

LOT 6 OF CENTRAL PLACE
 PLAT BOOK: 20 PAGE: 78 ST. LOUIS COUNTY, MO



Surveyors Note:
 The original Survey of Lot 6 locating corner markers and all improvements (buildings, fences, decks, patios, other concrete flatwork, etc.) were located for the original Survey completed July of 2013. For this revision, we have not verified the above mentioned improvements to be in place or their location to be consistent with the previous Survey. The purpose of this revision was to locate the front of the existing residences on the adjacent Lots 5 & 7.

SOURCE OF RECORD DESCRIPTION:
 DEED BOOK: 17072 PAGE: 3466

A current Title Commitment has not been made available for our use. It is possible there are easements and other instruments of record that affect the subject tract that would be exposed in the Title Commitment Report and are unknown to this office at the time the Survey was executed and therefore not plotted hereon. This Survey does not constitute a Title Search by the Surveyor.

GENERAL NOTES:

I.P. = IRON PIPE I.R. = IRON ROD
 (R) = RECORD (S) = SURVEYED (NR) = NON-RADIAL
 SURVEYOR'S STATEMENT:

BASIS OF BEARING OR ANGLES:

LEFFINGWELLS FIRST ADDITION TO KIRKWOOD
 PLAT BOOK: 355 PAGE: 211

DATE: 02/13/2020

THIS IS TO DECLARE TO BRIAN CLAWSON, THAT AT HIS REQUEST, MERIDIAN SURVEYING SERVICES LLC., HAS DURING THE MONTH OF JULY, 2013, EXECUTED A RESURVEY OF LOT 6 OF CENTRAL PLACE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 20, PAGE 78 OF THE ST. LOUIS COUNTY RECORDS, TOGETHER WITH THE LOCATION OF IMPROVEMENTS THEREON, IMPROVEMENT OWNERSHIP IS BASED OFF OF FIELD OBSERVATIONS THAT HAVE NOT BEEN VERIFIED WITH PROPERTY OWNER(S), THE FENCE HEIGHTS INDICATED ARE APPROXIMATE, UNLESS OTHERWISE INDICATED, FENCES INTERSECTING PROPERTY LINE(S) ARE CONNECTIVE IN NATURE, AND THAT THE RESULTS OF SAID RESURVEY ARE SHOWN ON THE ABOVE PLAT. THIS RESURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR AN URBAN CLASS PROPERTY. PRIOR TO ANY CONSTRUCTION, THE ZONING AUTHORITY SHOULD BE CONSULTED TO VERIFY CURRENT RESTRICTIONS. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTES, AGENCIES, PARTIES, OR SUBSEQUENT OWNERS.

Meridian Surveying Services LLC (agent)
 LEE C. FERRENBACH III
 MISSOURI LAND SURVEYOR
 NUMBER PLS-2310
 (agent) Lee C Ferrenbach III
 General Manager



MERIDIAN LAND SURVEYING
 4141 MEXICO ROAD
 ST. PETERS, MO 63376
 PHONE: 636-939-2900 FAX: 636-946-9099
 WWW.MERIDIANLANDSURVEYING.COM
 © 2013 MERIDIAN SURVEYING SERVICES, LLC

DRAFTER:	REVIEWED BY:	FIELD CREW:
AJ	LCF	KAT/MRA
DATE:	DRAWING NO:	PROJECT NO:
02/13/2020	01	50356-R1

EXTERIOR REMODEL

JOSH & SARAH KAPLAN
423 CENTRAL PLACE
KIRKWOOD, MO. 63122

INDEX OF DRAWINGS

- A1 COVER SHEET
- A2 EXISTING / DEMO & PROPOSED FIRST FLOOR PLANS / PROPOSED FOUNDATION PLAN
- A3 EXISTING / DEMO & PROPOSED SOUTH & EAST ELEVATIONS
- A4 EXISTING / DEMO & PROPOSED NORTH & WEST ELEVATIONS
- A5 PROPOSED PORCH SECTION

SCOPE OF WORK:

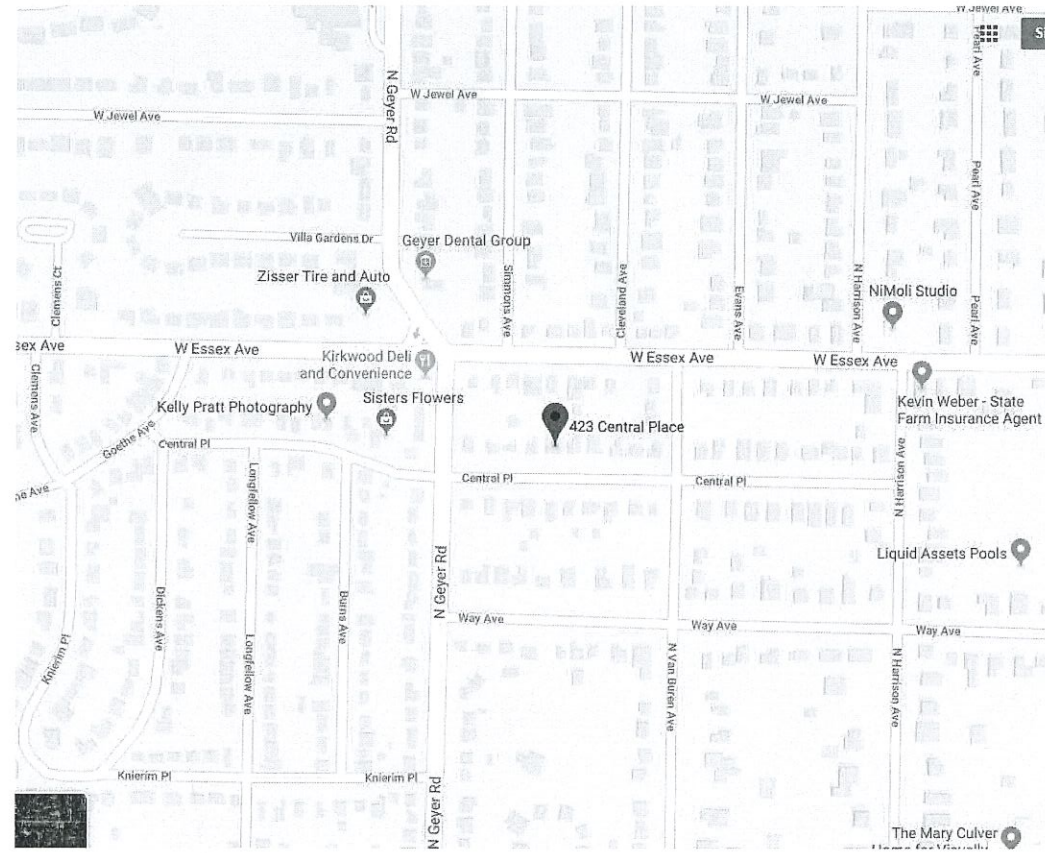
REMOVE EXISTING FRONT PORCH ROOF AND COLUMNS.
 CONSTRUCT NEW COVERED FRONT PORCH. (165 SQ. FT.)

APPLICABLE BUILDING CODES:

- 2015 IBC (INTERNATIONAL BUILDING CODE)
- 2015 IRC (INTERNATIONAL RESIDENTIAL CODE)
- 2015 IMC (INTERNATIONAL MECHANICAL CODE)
- 2015 IPC (INTERNATIONAL PLUMBING CODE)
- 2008 NEC (NATIONAL ELECTRICAL CODE)

STRUCTURAL DESIGN LOADS:

- ROOF LOAD DESIGN: 40 PSF.
- SNOW LOAD DESIGN: 20 PSF.
- FLOOR LOAD DESIGN: 50 PSF.
- DECK/BALCONY DESIGN: 100 PSF > 100 S.F..
- WIND LOAD DESIGN: 90 MPH. EXPOSURE "B"
- SEISMIC LOAD DESIGN: "C"
- GUARDRAIL: CONCENTRATED SIDE LOAD OF 200 LBS



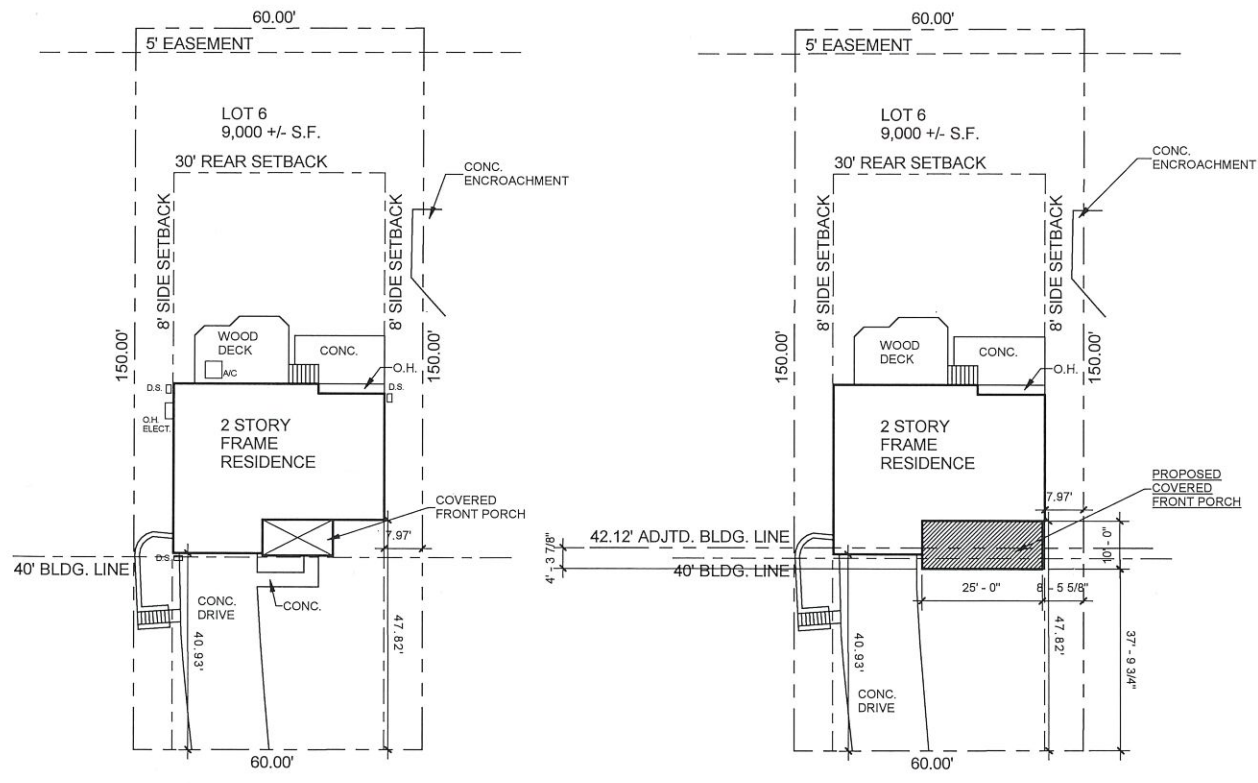
LOCATION MAP



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



CENTRAL PLACE (60'W.)

CENTRAL PLACE (60'W.)

1 A1 EXISTING SITE PLAN
 1" = 20'-0"

2 A1 PROPOSED SITE PLAN
 1" = 20'-0"

GENERAL NOTES:

- CONCRETE**
- CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE:
 - A. 3000 PSI COMPRESSIVE STRENGTH MIN. AT 28 DAYS IN VERTICAL WALLS THAT ARE NOT EXPOSED TO WEATHER
 - B. 3000 PSI COMPRESSIVE STRENGTH MIN. AT 28 DAYS IN VERTICAL SURFACES THAT ARE EXPOSED TO WEATHER
 - MINIMUM YIELD STRENGTH OF REINFORCING STEEL SHALL BE 40,000 PSI (GRADE 40) (276MPA). IN ACCORDANCE WITH SECTION R404.1.2.3.7.1, 2015 IRC
 - ALL FOOTINGS SHALL REST ON VIRGIN SOIL OR APPROVED COMPACTED FILL (2000 PSI MIN. SOIL BEARING CAPACITY AND BE A MINIMUM 2'-0" INTO UNDISTURBED SOIL AND AT LEAST 2'-6" BELOW FINISHED GRADE.
 - 1/2" DIAMETER ANCHOR BOLTS, PLACED A MINIMUM OF 4'-0" O.C. SET 8" MIN. INTO CONCRETE REQUIRED FOR ANCHORING OF SILL PLATES AROUND ENTIRE FOUNDATION WITH NUTS AND 1-1/2" WASHERS PROVIDED. MINIMUM 2 BOLTS PER SECTION OF PLATE REGARDLESS OF LENGTH. SILL PLATES TO BE GROUTED LEVEL. THERE SHALL BE AN ANCHOR BOLT LOCATED 4" TO 11/2" FROM END OF EACH SILL PLATE. 2"x2"x3/16" SQUARE WASHERS SHALL BE USED IN LIEU OF 1-1/2" ROUND WASHERS FOR ANCHOR BOLTS SECURING A PORTAL FRAME PANEL CONSTRUCTION.
 - ALL VOIDS UNDER PORCH CONCRETE SLABS SHALL BE FILLED WITH 4" MIN. GRANULAR FILL.
 - TEST SOIL FOR TERMITES ACCORDING TO FHA MINIMUM PROPERTY STANDARDS.
 - PER R402.2 IRC 2015, CONCRETE SHALL BE AIR ENTRAINED, TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL NOT BE LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.
- FLAME SPREAD RATING AND SMOKE DEVELOPMENT INDEX MATERIAL**
- | TILE FLOORING | F.S.R. | S.D.I. |
|-------------------|--------|--------|
| 0 | 0 | 0 |
| DRYWALL | 15 | 25 |
| LATEX PAINT | 5 | 20 |
| CARPET | 40 | 155 |
| HARDWOOD FLOORING | 80-200 | >400 |
- WOOD AND PLASTICS**
- ALL LUMBER SHALL BE GRADE MARKED 1250 F# UNLESS OTHERWISE NOTED.
 - ALL NAILING AND FASTENING SHALL COMPLY WITH THE 2015 IRC TABLES R602.3(1) THRU R602.3(4). RAFTER/CEILING JOIST SYSTEMS SHALL BE NAILED TO THE TOP PLATE OF THE WALL IN ACCORDANCE W/ TABLE R602.3(1). TRUSSES SHALL BE NAILED TO THE TOP PLATE OF THE WALL W/ 3-16D NAILS TOE NAILED WITHOUT SPLITTING THE END OF THE TRUSS.
 - CUTTING, NOTCHING, AND/OR BORING HOLES IN WOOD BEAMS, JOISTS, RAFTERS OR STUDS SHALL NOT EXCEED THE LIMITATIONS SET FORTH IN 2015 IRC SECTIONS R502.8, R602 AND R802.7
 - FIRE STOP ALL STUD WALLS AT TOP AND BOTTOM.
 - ALL SOFFITS AND DROP CEILINGS SHALL BE FIRESTOPPED.
 - TRUSS DESIGNED IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE SECTIONS R502.11.1 AND R602.10.2 AND REFERENCED STANDARD ANSI/TPI 1.
 - ALL HEADERS ARE DBLE. 2X10 @ EXTERIOR AND LOAD BEARING WALLS UNLESS OTHERWISE NOTED.

PLUMBING

- LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
- MINIMUM CLEARANCE FIXTURES MUST MAINTAIN FROM ANY STORAGE SPACE (SHELF, ROD, ETC.)
 - 12" FROM SURFACE-MOUNTED INCANDESCENT AND LED FIXTURES WITH COMPLETELY ENCLOSED LIGHT.
 - 6" FROM SURFACE-MOUNTED FLUORESCENT FIXTURES INSTALLED ON A CEILING OR ON THE WALL ABOVE THE DOOR.
 - 6" FROM RECESSED INCANDESCENT OR LED FIXTURES WITH A COMPLETELY ENCLOSED BULB/LAMP INSTALLED IN THE WALL OR CEILING.
 - 6" FROM RECESSED FLUORESCENT FIXTURES INSTALLED IN THE WALL OR CEILING.

THERMAL AND MOISTURE PROTECTION

- ALL REQUIRED UNDERLAYMENT TO BE A MINIMUM OF TYPE 1 PER ASTM D226
- CORROSION RESISTANT METAL FLASHING SHALL BE USED AT ALL ROOF INTERSECTIONS, ROOF AND WALL INTERSECTIONS, INTERSECTIONS WITH CHIMNEY, ETC.. ROLLED ROOFING OR TWO LAYERS OF TYPE IS ASPHALT SATURATED FELT MAY BE SUBSTITUTED FOR FLASHING AT ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLOCKED.
- INSULATION:
 - EXTERIOR WALLS: R-13 BATT
 - CEILING: R-38 BLOWN
 - FLOOR: R-10
 - CRAWL SPACE: MIN. R-10
 - NO FOAM PLASTIC INSULATION
- PROVIDE CEMENT BOARD UNDERLAYMENT IN TILE AREAS. WATER RESISTANT GWB IN ALL HIGH MOISTURE AREAS.

PROPERTY OF AGAPE CONSTRUCTION

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AGAPE Construction Company
 A DESIGN AND BUILD FIRM
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 KIRKWOOD, MO 63122

EXTERIOR REMODEL
 FOR
 JOSH & SARAH KAPLAN
 423 CENTRAL PLACE
 KIRKWOOD, MO. 63122

BOA Set
 05.11.2020

No.	Description	Date

DRAWING TITLE:
COVER SHEET

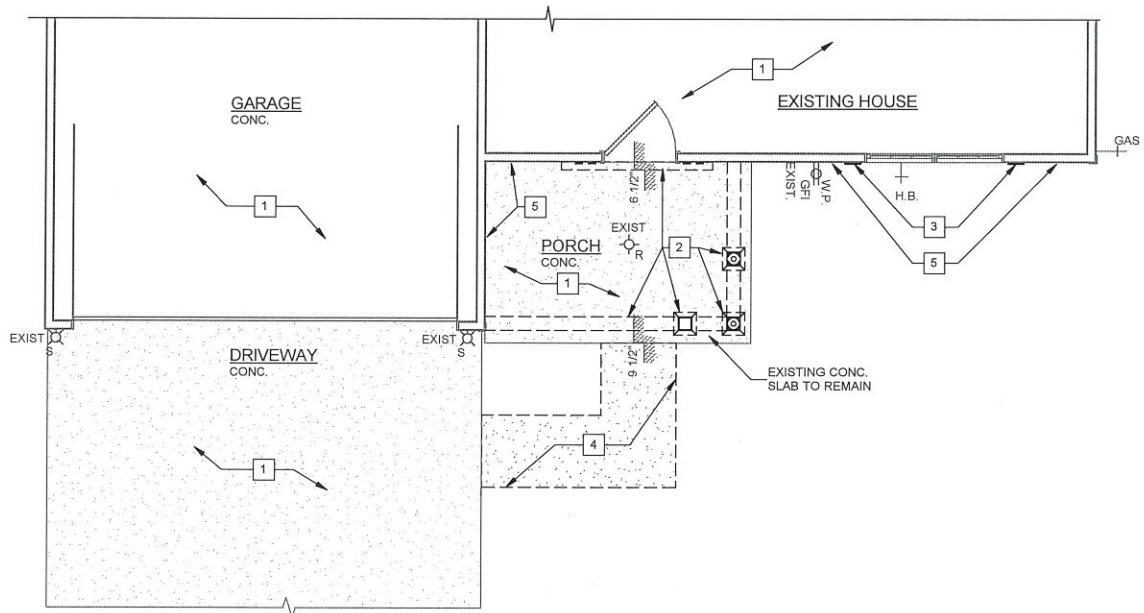
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SHEET #
A1

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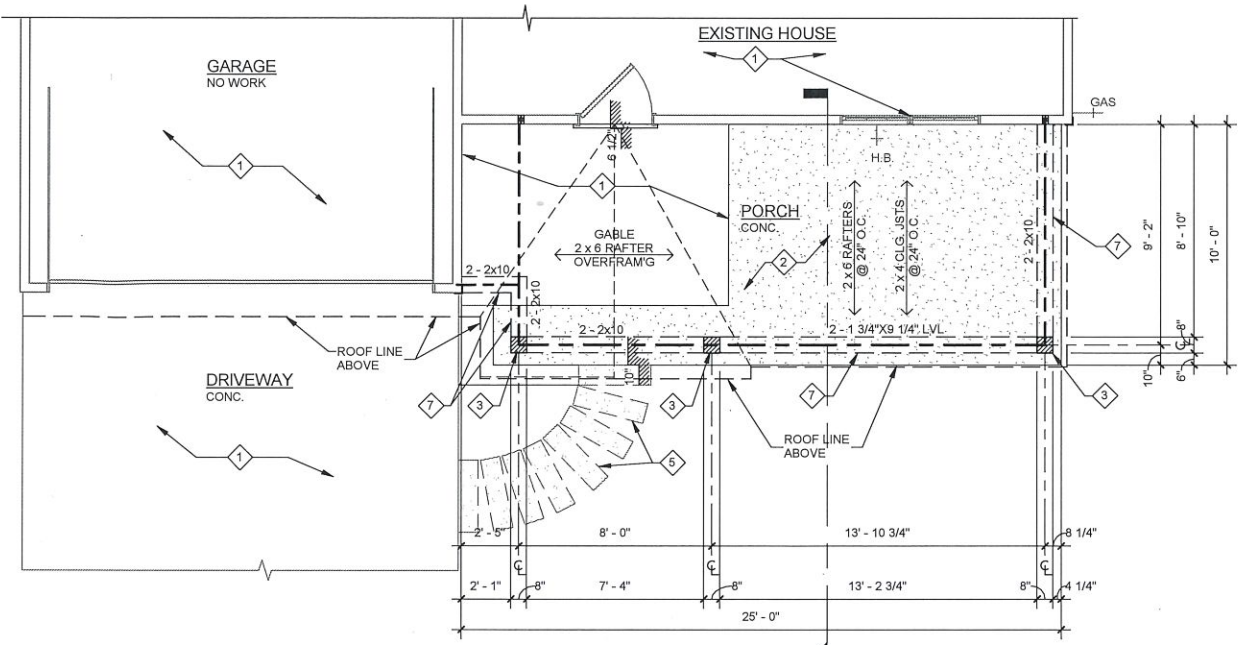
PROPERTY OF AGAPE CONSTRUCTION



1 FIRST FLOOR DEMOLITION PLAN
A2 1/4" = 1'-0"

DEMO KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE EXISTING COLUMNS AND ROOF IN ITS ENTIRETY
- 3 REMOVE EXISTING SHUTTERS
- 4 REMOVE CONCRETE WALKWAY
- 5 REMOVE AFFECTED SIDING



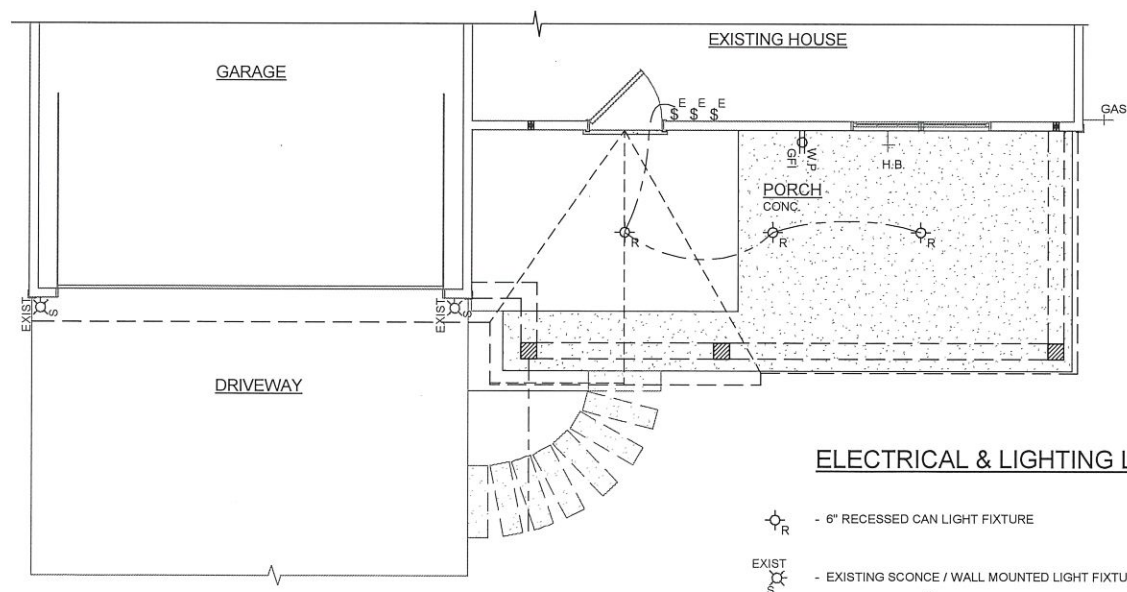
2 PROPOSED FIRST FLOOR PLAN
A2 1/4" = 1'-0"

KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 NEW CONCRETE PORCH W/ MONOPOUR FROST WALL FOUNDATION
- 3 8" SQUARE PERMACAST COLUMNS W/ CURVED WOOD BRACKETS - PAINTED
- 4 NOT USED
- 5 LANDSCAPE STONES -BY OWNER
- 6 NOT USED
- 7 NEW BOX BEAM W/ ALUM. WRAP

BID NOTES

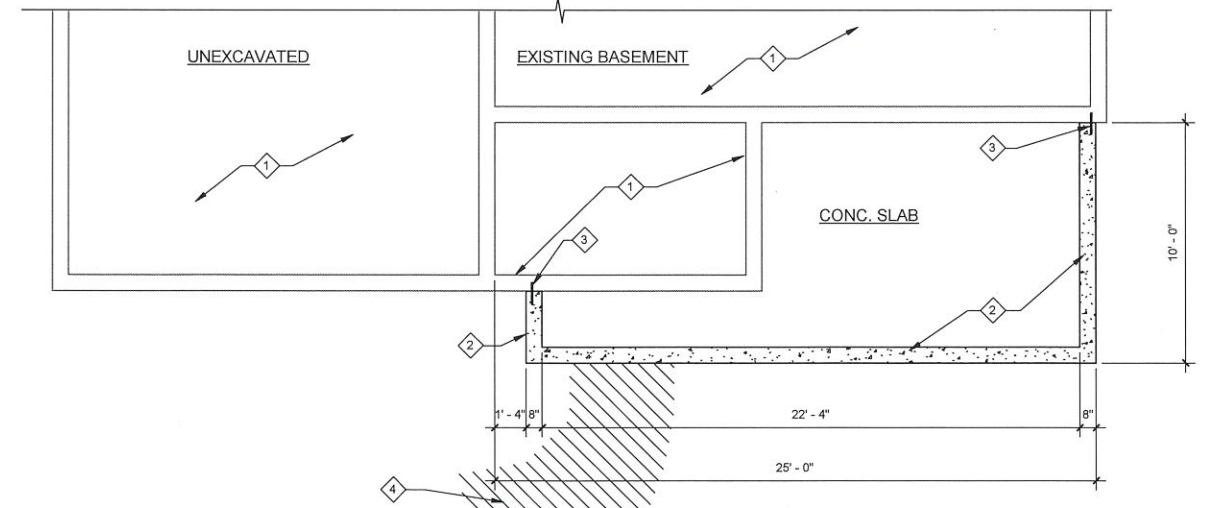
- 2ND FLOOR HALLWAY
- REMOVE EXIST. ATTIC FAN
 - INSTALL DRYWALL, TAPE & MUD
 - PAINT BY OWNER
 - VENT EXIST. EXHAUST FANS THROUGH ROOF (CURRENTLY IN ATTIC SPACE)



3 PROPOSED FIRST FLOOR ELECTRICAL & LIGHTING PLAN
A2 1/4" = 1'-0"

ELECTRICAL & LIGHTING LEGEND

- ⊙_R - 6" RECESSED CAN LIGHT FIXTURE
- EXIST S - EXISTING SCENCE / WALL MOUNTED LIGHT FIXTURE
- W.P. GFI - WATER PROOF GROUND FAULT INTERRUPTER DUPLEX OUTLET
- E - EXISTING SWITCH



4 PROPOSED FOUNDATION PLAN
A2 1/4" = 1'-0"

KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 CONC. SLAB ON CRUSHED GRAVEL W/ MONOPOUR FROST WALL FOUNDATION
- 3 DOWEL NEW CONC. FROST WALL INTO EXIST. FOUNDATION
- 4 ADD FILL TO RAISE STEPS TO PORCH

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EXTERIOR REMODEL
FOR
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BOA Set
05.11.2020

No.	Description	Date

DRAWING TITLE:
EXISTING / DEMO &
PROPOSED FIRST FLOOR
PLANS / PROPOSED
FOUNDATION PLAN

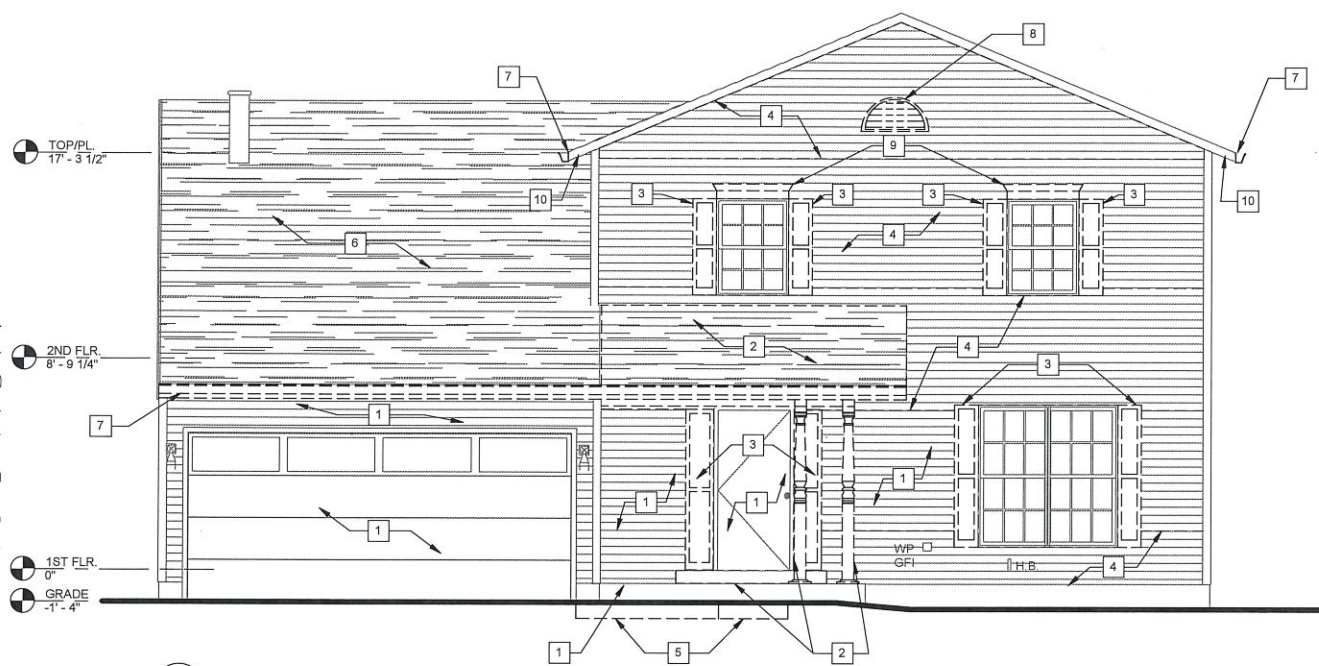
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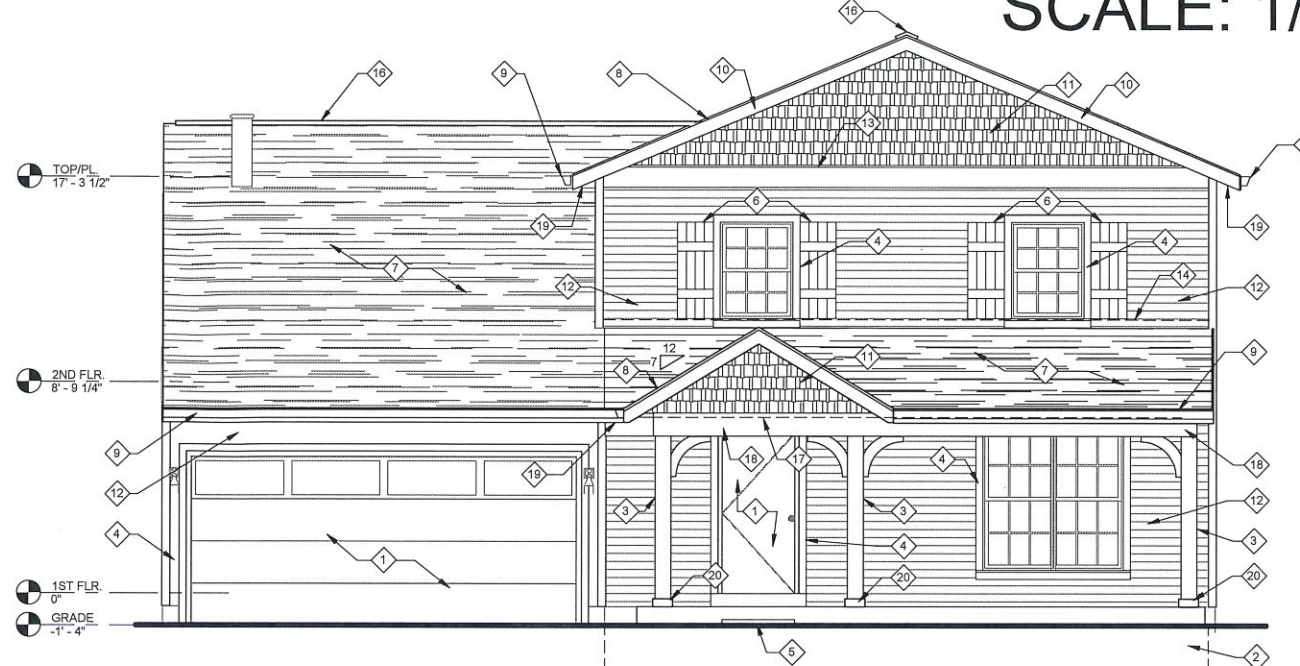
PROPERTY OF AGAPE CONSTRUCTION



1 EXISTING / DEMO SOUTH ELEVATION
A3 1/4" = 1'-0"

ELEVATION DEMO KEYED NOTES

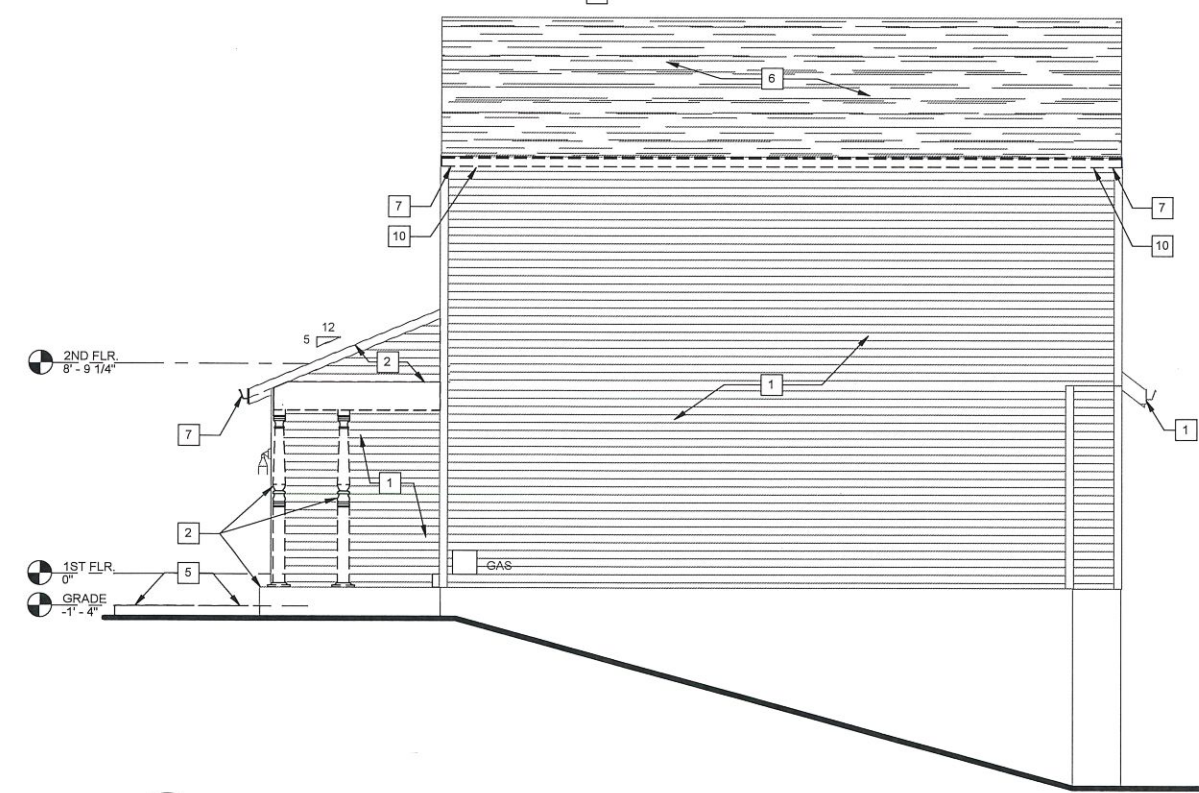
- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE EXIST. PORCH IN ITS ENTIRETY
- 3 REMOVE EXIST. SHUTTERS
- 4 REMOVE EXIST. SIDING - SALVAGE FOR RE-INSTALLATION
- 5 REMOVE CONCRETE WALKWAY
- 6 REMOVE SHINGLES
- 7 REMOVE AFFECTED GUTTER
- 8 REMOVE LOUVERED VENT
- 9 REMOVE UPPER WINDOW "HEADER" TRIM
- 10 REMOVE AFFECTED SOFFIT/FASCIA



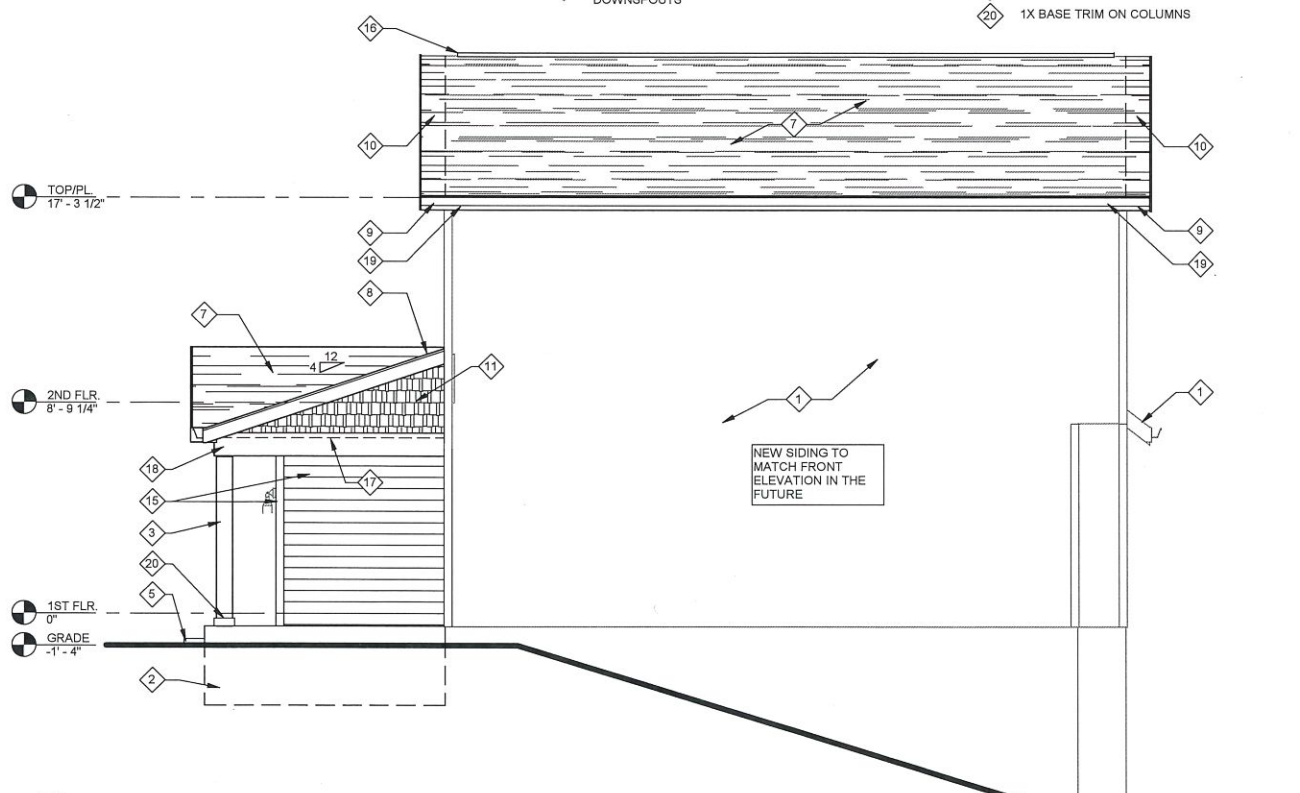
2 PROPOSED SOUTH ELEVATION
A3 1/4" = 1'-0"

ELEVATION KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 NEW CONCRETE PORCH W/ MONOPOUR-FROST WALL* FOUNDATION
- 3 8" SQUARE PERMACAST COLUMNS W/ CURVED WOOD BRACKETS - PAINTED
- 4 3 1/2" TRIM - SILLS AND APRON @ WINDOWS
- 5 LANDSCAPE STONES - BY OWNER
- 6 NEW VINYL SHUTTERS
- 7 NEW ASPHALT SHINGLES
- 8 2 x 8 FASCIA W/ SHINGLE MOLDING MTL. WRAP
- 9 NEW CONTINUOUS ALUMINUM GUTTERS W/ DOWNSPOUTS
- 10 NEW 12" EAVE OVERHANG W/ ALUMINUM SOFFIT
- 11 NEW VINYL SHAKE SIDING
- 12 RE-INSTALL EXIST. SIDING
- 13 2X ALUM. WRAPPED FRIEZEBOARD W/ DRIP - CAP
- 14 ALUMINUM FLASHING
- 15 NEW VINYL SIDING W/ CORNER TRIM
- 16 RIDGE VENT
- 17 PLYWOOD BACKER CEILING - VINYL BEADBOARD BY OWNER
- 18 NEW BOX BEAM W/ ALUM. WRAP
- 19 REPLACE AFFECTED ALUM. SOFFIT/FASCIA
- 20 1X BASE TRIM ON COLUMNS



3 EXISTING / DEMO EAST ELEVATION
A3 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION
A3 1/4" = 1'-0"

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EXTERIOR REMODEL
FOR
JOSH & SARAH KAPLAN
423 CENTRAL PLACE
KIRKWOOD, MO. 63122

BOA Set
05.11.2020

No.	Description	Date

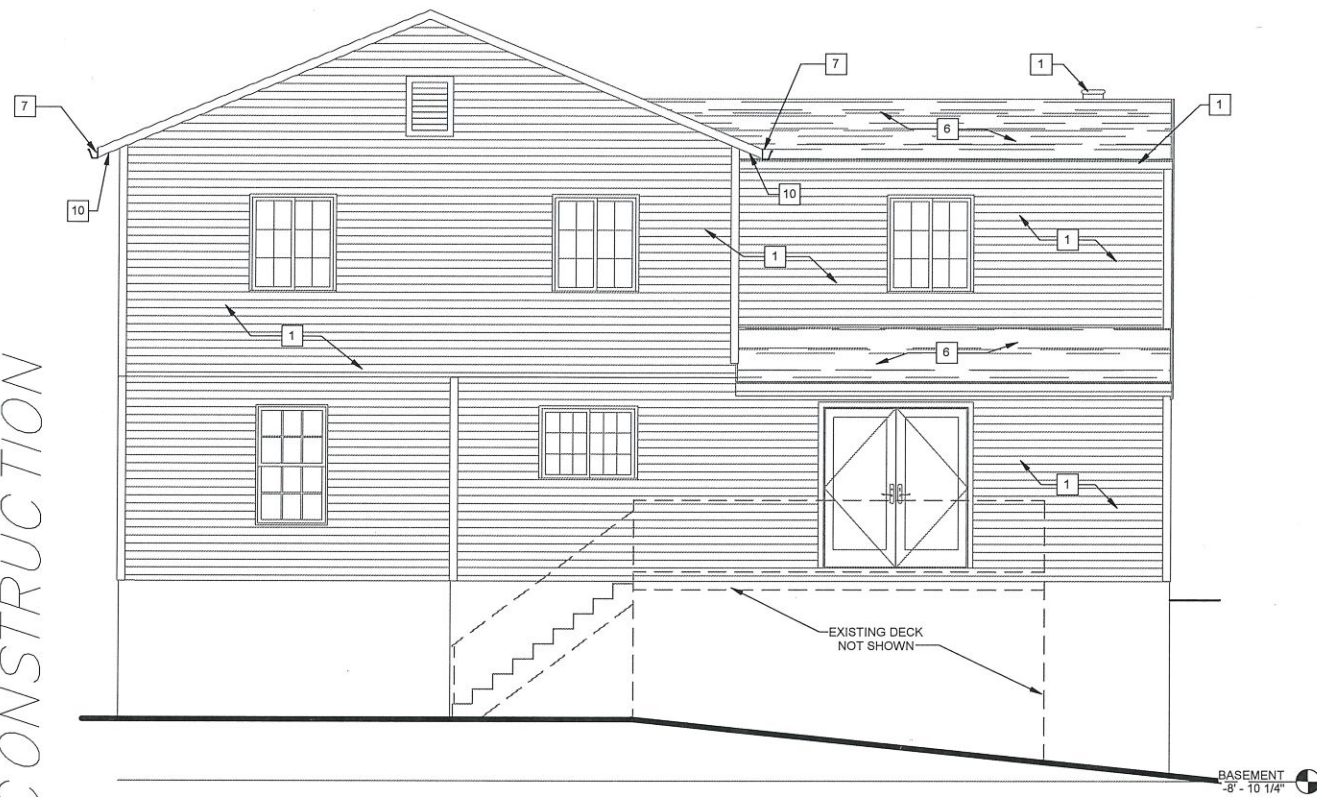
DRAWING TITLE:
EXISTING / DEMO &
PROPOSED SOUTH & EAST
ELEVATIONS

DRAWN BY: DJK / CDN
CHECKED BY: KOB

SHEET #
A3

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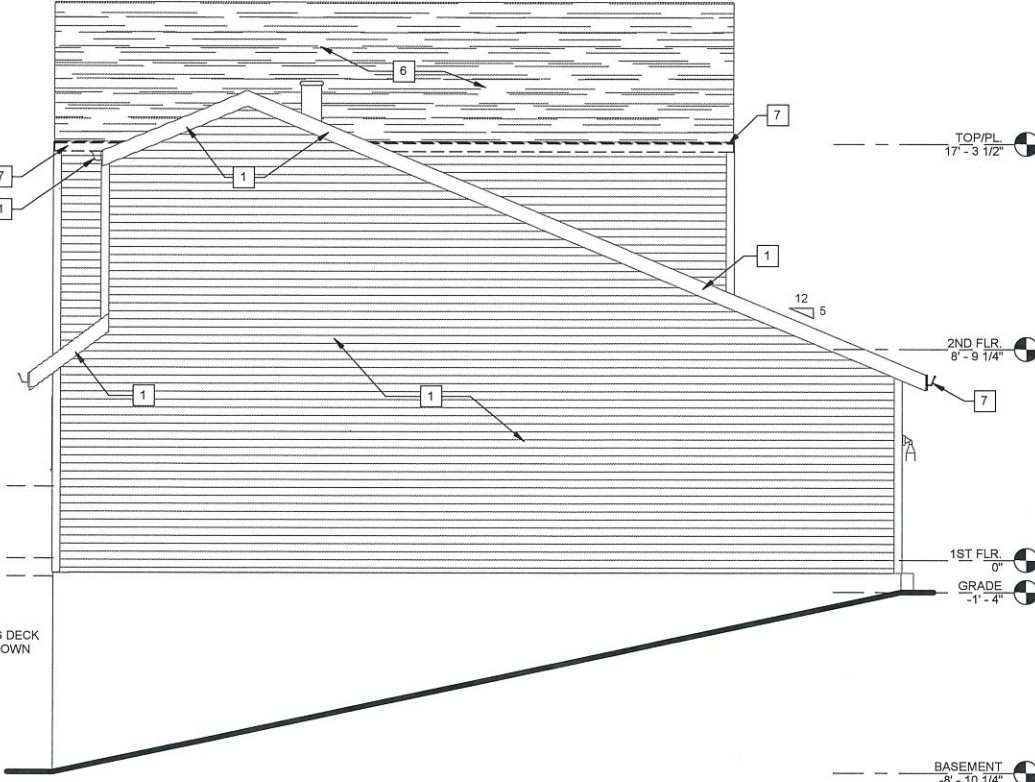
PROPERTY OF AGAPE CONSTRUCTION



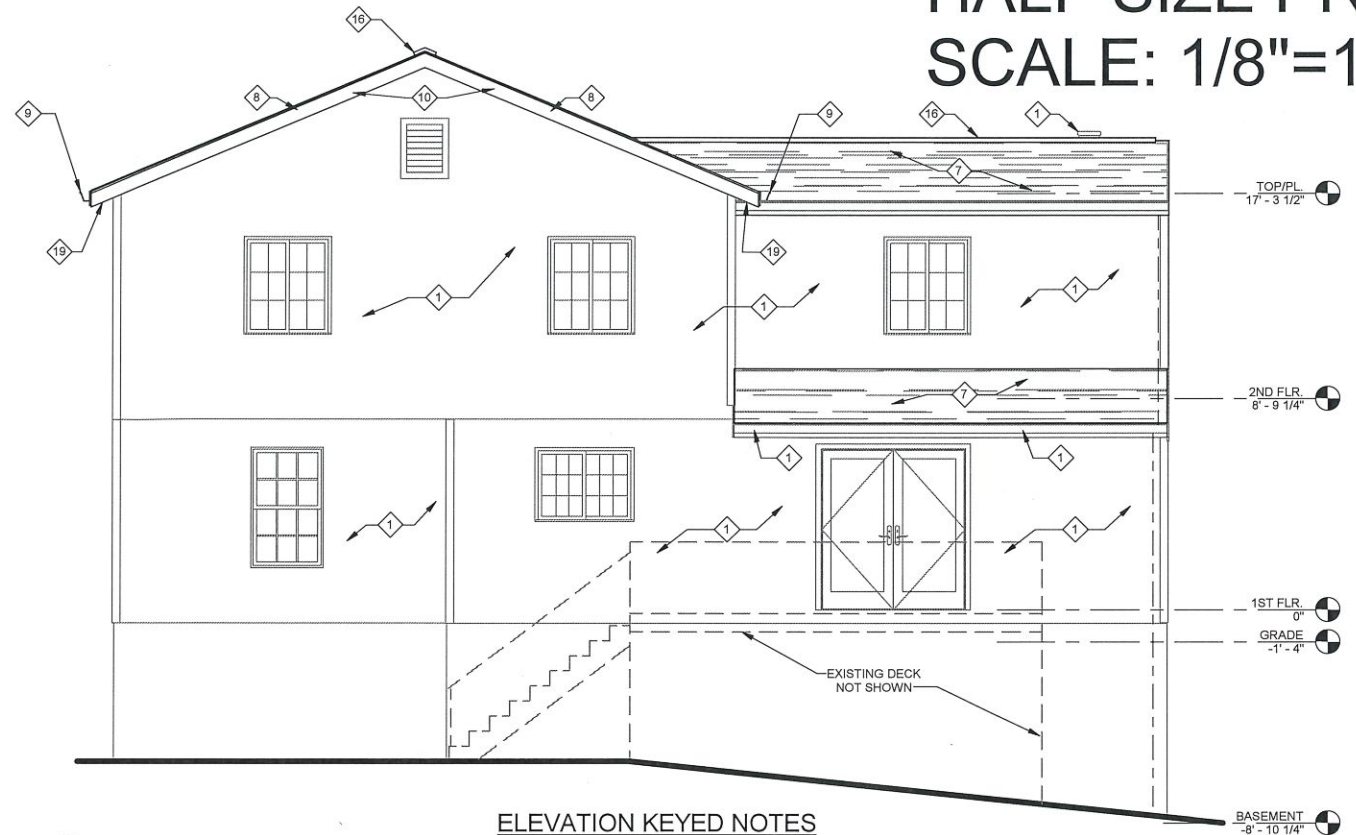
1
A4 EXISTING / DEMO NORTH ELEVATION
1/4" = 1'-0"

ELEVATION DEMO KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 REMOVE EXIST. PORCH IN ITS ENTIRETY
- 3 REMOVE EXIST. SHUTTERS
- 4 REMOVE EXIST. SIDING - SALVAGE FOR RE-INSTALLATION
- 5 REMOVE CONCRETE WALKWAY
- 6 REMOVE SHINGLES
- 7 REMOVE AFFECTED GUTTER
- 8 REMOVE LOUVERED VENT
- 9 REMOVE UPPER WINDOW "HEADER" TRIM
- 10 REMOVE AFFECTED SOFFIT/FASCIA



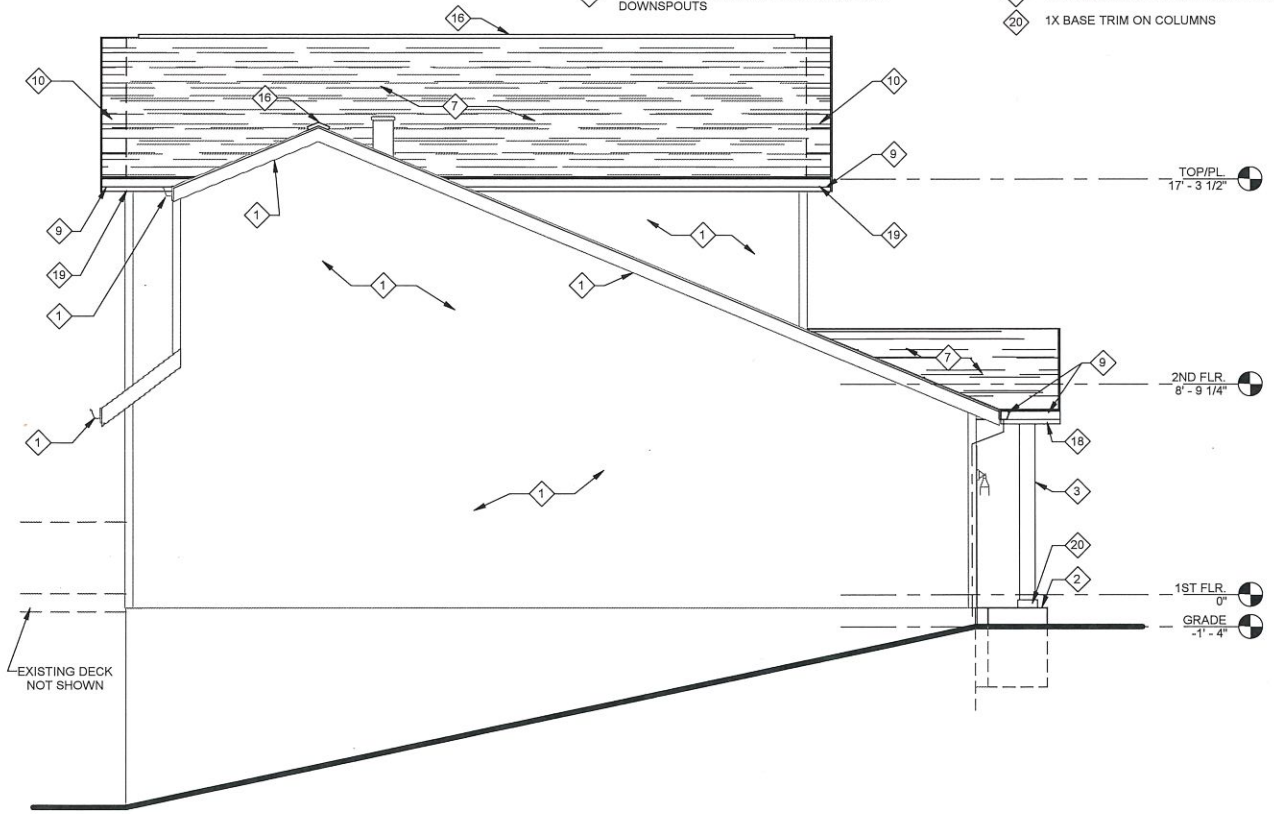
3
A4 DEMO WEST ELEVATION
1/4" = 1'-0"



2
A4 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

ELEVATION KEYED NOTES

- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 NEW CONCRETE PORCH W / MONOPOUR "FROST WALL" FOUNDATION
- 3 8" SQUARE PERMACAST COLUMNS W / CURVED WOOD BRACKETS - PAINTED
- 4 3 1/2" TRIM - SILLS AND APRON @ WINDOWS
- 5 LANDSCAPE STONES - BY OWNER
- 6 NEW VINYL SHUTTERS
- 7 NEW ASPHALT SHINGLES
- 8 2 x 8 FASCIA W / SHINGLE MOLDING MTL. WRAP
- 9 NEW CONTINUOUS ALUMINUM GUTTERS W / DOWNSPOUTS
- 10 NEW 12" EAVE OVERHANG W / ALUMINUM SOFFIT
- 11 NEW VINYL SHAKE SIDING
- 12 RE - INSTALL EXIST. SIDING
- 13 2X ALUM. WRAPPED FRIEZEBOARD W / DRIP - CAP
- 14 ALUMINUM FLASHING
- 15 NEW VINYL SIDING W / CORNER TRIM
- 16 RIDGE VENT
- 17 PLYWOOD BACKER CEILING - VINYL BEADBOARD BY OWNER
- 18 NEW BOX BEAM W / ALUM. WRAP
- 19 REPLACE AFFECTED ALUM. SOFFIT/FASCIA
- 20 1X BASE TRIM ON COLUMNS



4
A4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

**HALF SIZE PRINT
SCALE: 1/8"=1'-0"**

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BOA Set
05.11.2020

No.	Description	Date

EXISTING / DEMO &
PROPOSED NORTH & WEST
ELEVATIONS

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EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

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FOR
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KIRKWOOD, MO. 63122

ARB Set
1.13.20

REVISIONS		
No.	Description	Date

DRAWING TITLE:
PHOTOS

DRAWN BY: Author CHECKED BY: Checker

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