



Kirkwood Landmarks Commission

Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 7:00 p.m. in City Hall.

1. **Property Address** 102 N Taylor

2. **Property Status**
- Local Landmark Designation
 - National Register of Historic Places
 - Within a Historic District

3. **Name of Applicant** Nick Adams

Mailing Address 211 Papin Ave

City/State St Louis, MO Zip Code 63119

Office Phone () Cell Phone (314) 971 - 0950

Home Phone () E-Mail nick@mademandesign.com

4. **Relationship of Applicant to Property** _____

- Owner
- Contractor
- Architect
- Attorney
- Other – Please specify _____

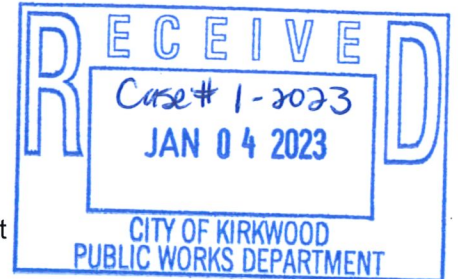
5. **Existing Building Use** Residential

6. **Proposed Building Use** Residential

7. **Proposed Change to** Primary Structure Accessory Structure Landscape Element

8. **Nature of Proposed Change**

- Demolition
- Addition
- Alteration to Exterior
- New Construction
- Other – Please Specify _____
- Window Configuration
- Sign Erection or Placement
- Fence
- Landscape or Hardscape Element



9. **Description of Proposed Improvements** Demolition of existing residential structure and site elements.

New construction of residence and site improvements.

10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify See attached PowerPoint pdf
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction** Wood Frame Brick Stone Block
- Stucco Other Wood Siding/Shake

12. **Proposed Materials/Construction** Wood Frame Brick Stone Block
- Stucco Other Possibly lapped siding

13. **If materials differ from existing, explain reasons** _____
Exploring more durable, lower maintenance, higher quality construction

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**
 Site Location of Materials _____

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature Nick Adams Date 1/5/2023

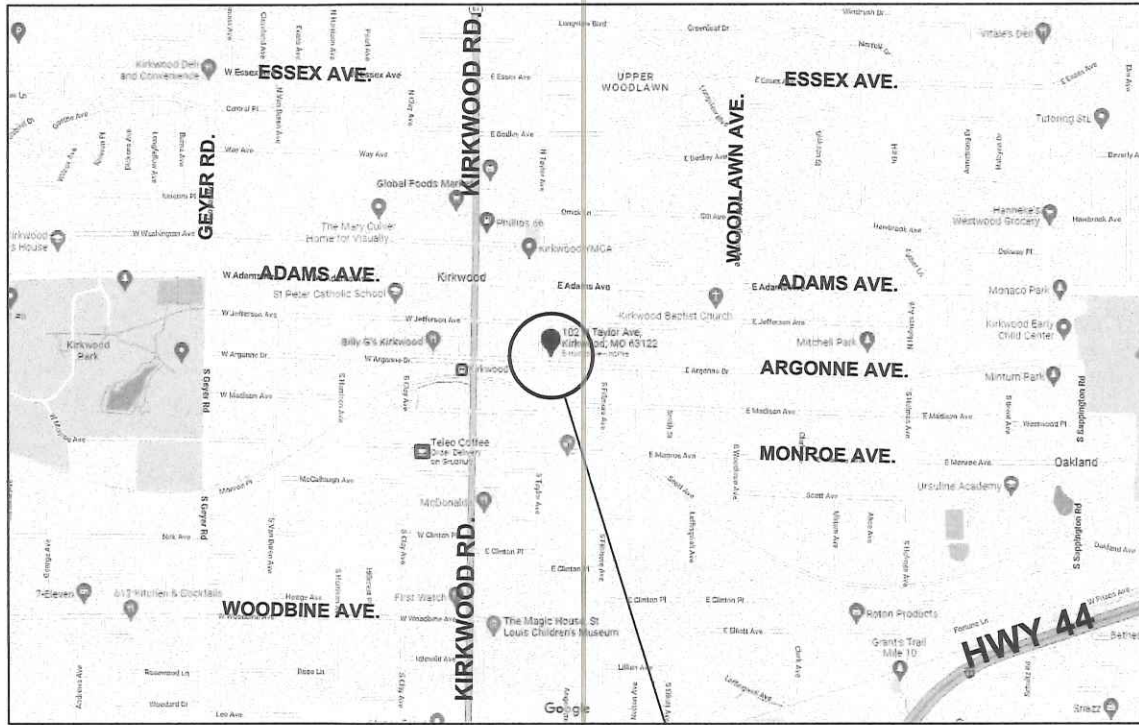
Please print name Nick Adams

COMMISSION ACTION **Approved** **Approved with Conditions** **Disapproved**

Signature _____ Date _____

Conditions _____

Comments/Recommendations _____



1 AREA MAP
A.0 SCALE: NTS

102 N. TAYLOR

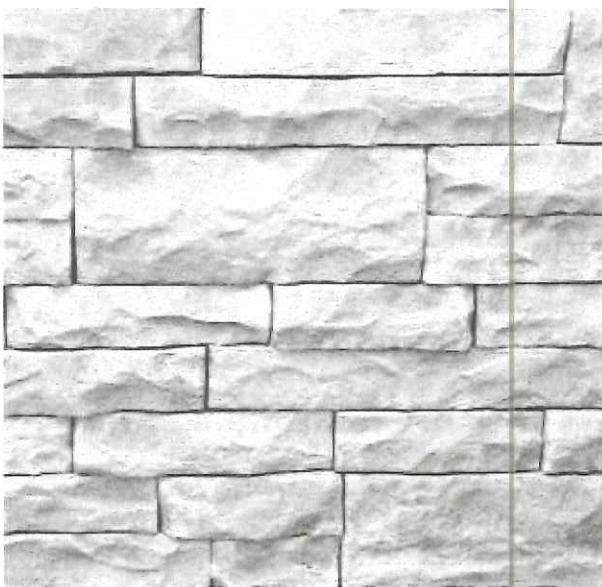
DESCRIPTION
NEW CONSTRUCTION OF SINGLE-FAMILY RESIDENCE WITHIN THE "JEFFERSON ARGONNE" HISTORIC DISTRICT OF THE CITY OF KIRKWOOD, MO. FULL DEMOLITION OF EXISTING STRUCTURE ON SITE. NEW EXTERIOR LANDSCAPE FEATURES; PLANTINGS, PAVING, WALLS, ETC
BUILDING INFO
CITY OF KIRKWOOD, MO. SINGLE FAMILY RESIDENCE W/DETACHED GARAGE. 3 BEDROOM, 3.5 BATH, 2.5 STORIES. SITE: 85' X 140' = 11,900SF = 0.27 ACRES LOT COVERAGE: 2,912SF (2,975SF ALLOWABLE) F.A.R.: 3,382SF (3,570SF ALLOWABLE) SEE SITE PLAN FOR SETBACK INFORMATION
CONTACT INFORMATION
OWNER: MARYANN REESE CONTACT: 618920.9361 - MAREESE60@GMAIL.COM
BUILDER: TBD CONTACT: TBD
ARCHITECT: MADEMAN DESIGN - NICK ADAMS CONTACT: 314.200.2638 - NICK@MADEMANDESIGN.COM



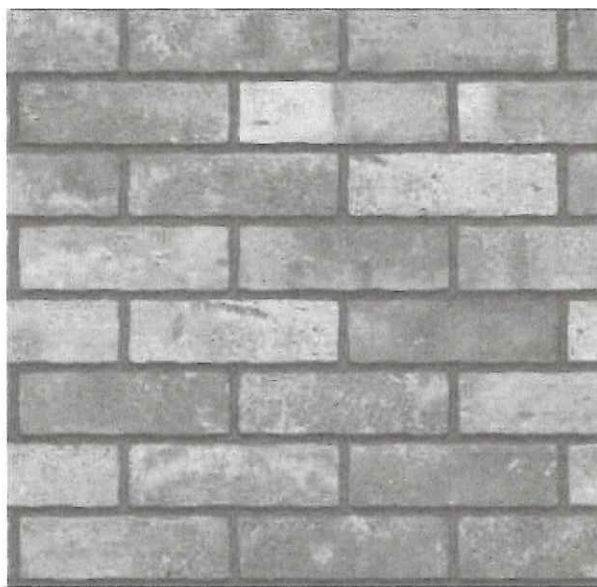
slate (composite) roof



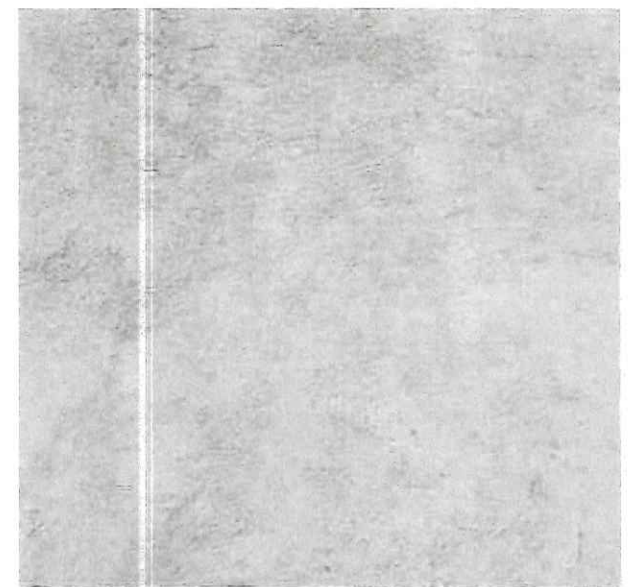
standing seam roof



stone



brick



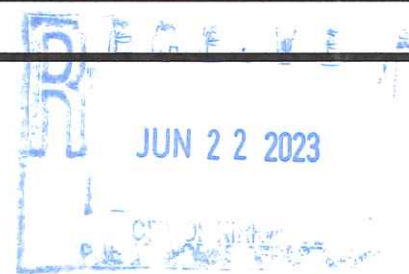
stucco

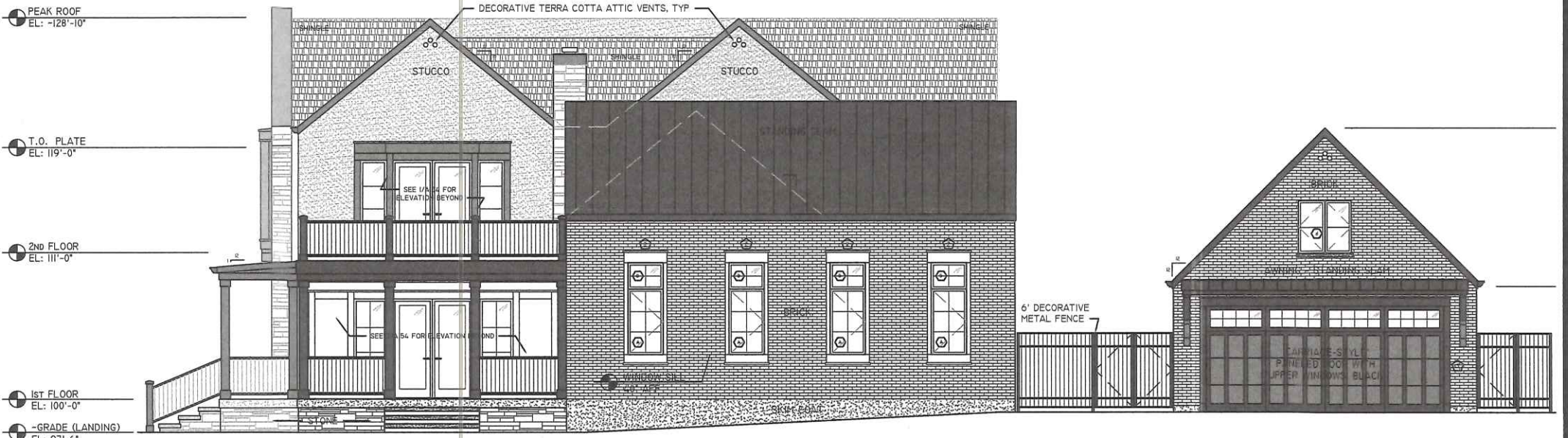
material palette

- material palette to consist of brick, stone, and stucco, with few areas of natural wood accent.
- roofing material to be composite slate shingles, (\$ alt: architectural asphalt), with standing seam metal at low-slope areas.

6.16.2023
A.0
COVER

ARCHITECTURAL DOCUMENTS FOR:
NEW HOME CONSTRUCTION
102 N. TAYLOR AVE.
KIRKWOOD MO 63122





1 SOUTH ELEVATION
A.3 SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
A.3 SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION
A.3 SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
A.3 SCALE: 3/32" = 1'-0"

6.16.2023
A.3
PLANS

ARCHITECTURAL DOCUMENTS FOR:
NEW HOME CONSTRUCTION
102 N. TAYLOR AVE.
KIRKWOOD MO 63122





1 RENDERING SEEN FROM NORTHWEST
A.4 SCALE: NTS



2 RENDERING SEEN FROM SOUTHWEST
A.4 SCALE: NTS



3 RENDERING SEEN FROM SOUTHEAST
A.4 SCALE: NTS



4 RENDERING SEEN FROM NORTHEAST
A.4 SCALE: NTS

6.16.2023

A.4

PLANS

ARCHITECTURAL DOCUMENTS FOR:
NEW HOME CONSTRUCTION
102 N. TAYLOR AVE.
KIRKWOOD MO 63122



DESIGN & WORKSHOP



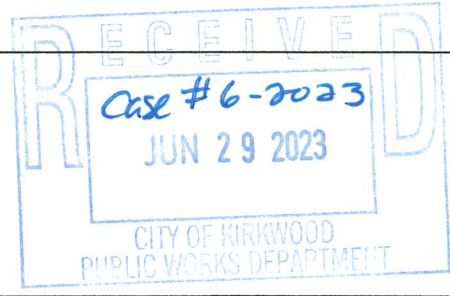
Kirkwood Landmarks Commission

Application for Certificate of Appropriateness

Please submit the application with supporting documentation by the first Wednesday of the month to the Building Department. Failure to supply sufficient information may result in the application being denied or postponed. It is recommended that you or your representative be present at the Landmarks Commission meeting on the second Wednesday of the month at 6:30 p.m. in City Hall.

1. Property Address 141 Horseshoe Drive

2. Property Status
- Local Landmark Designation
 - National Register of Historic Places
 - Within a Historic District



3. Name of Applicant Jeff Day

Mailing Address 14311 Manchester Rd.

City/State Manchester MO. Zip Code 63011

Office Phone (314) 644-2775 Cell Phone (314) 397-4669

Home Phone () E-Mail jeff.day@jeffdayllc.com

4. Relationship of Applicant to Property Jeff Day + Associates LLC

- Owner
- Contractor
- Architect
- Lawyer
- Other – Please specify _____

5. Existing Building Use Vacant Lot

6. Proposed Building Use Single Family Residential

7. Proposed Change to Primary Structure Accessory Structure Landscape Element

8. Nature of Proposed Change

- Demolition
- Addition
- Alteration to Exterior
- New Construction
- Other – Please Specify _____
- Window Configuration
- Sign Erection or Placement
- Fence
- Landscape or Hardscape Element

9. Description of Proposed Improvements New single family one-story frame with finished basement

10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify _____
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction** N/A Wood Frame Brick Stone Block
 Stucco Other _____

12. **Proposed Materials/Construction** Wood Frame Brick Stone Block
 Stucco Other Board + Batten Siding

13. **If materials differ from existing, explain reasons** N/A

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials _____

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature  Date 4/28/23

Please print name Denise Eisale R.M. Jeff Day & Associates

COMMISSION ACTION Approved Approved with Conditions Disapproved

Signature _____ Date _____

Conditions _____

Comments/Recommendations _____

SUGAR CREEK RANCH NEIGHBORHOOD

ARCHITECT RALPH & MARY JANE FOURNIER
ESTABLISHED IN 1954

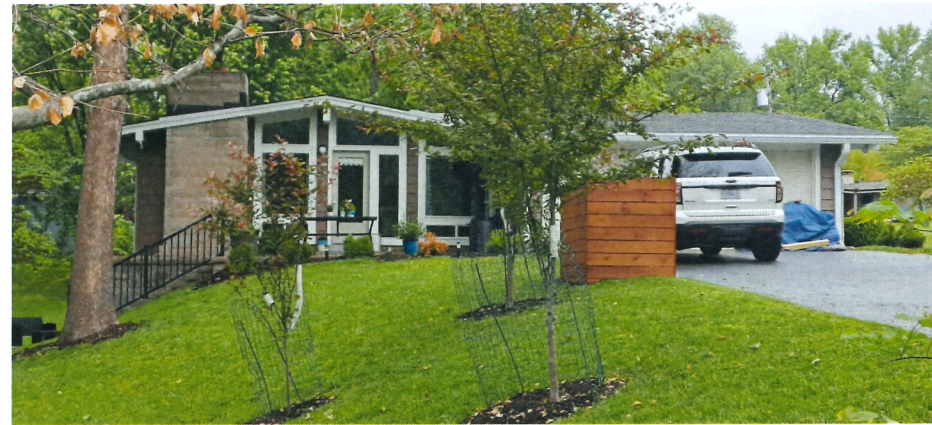


DRAWING INDEX

- A1 RENDERING
- A2 FRONT ELEVATION
- A3 RIGHT SIDE ELEVATION
- A4 REAR ELEVATION
- A5 LEFT SIDE ELEVATION
- A6 FINISHED BASEMENT PLAN
- A7 FIRST FLOOR PLAN
- A8 ROOF PLAN
- A9 NEIGHBORING PROPERTIES
- A10 NEIGHBORING PROPERTIES
- A11 PROPOSED SITE PLAN

FOURNIERS' SIGNATURE CALIFORNIA MODERNIST STYLE:

- LOW-SLUNG ROOF LINES THAT PROVIDE VAULTED SPACES ON THE INTERIOR AND HUG THE TOPOGRAPHY OF THE SITE.
- LARGE EXPANSES OF GLASS THAT PROVIDE AMPLE NATURAL LIGHT AND VIEWS OF THE LANDSCAPE FROM THE INTERIOR.
- OPEN INTERIOR FLOOR PLANS FOR THE LIVING/DINING/KITCHEN AREAS.
- DOUBLE SIDED FIREPLACES.
- NATURAL MATERIALS, INCLUDING CALIFORNIA REDWOOD SIDING, MAHOGANY PANELING, AND NATURAL STONE FIREPLACES AND PLANTERS.
- TERRACED LOTS TO CREATE PRIVACY BETWEEN HOUSES.



291 HORSESHOE DRIVE



245 HORSESHOE DRIVE



1454 LARK AVE



201 HORSESHOE DRIVE

OBJECTIVE OF NEW CONSTRUCTION:

- THE PROPOSED HOME REFLECTS THE CHARACTER OF THE HOMES FOUND IN THE SUGAR CREEK RANCH NEIGHBORHOOD.
- THIS HOME TAKES INTO CONSIDERATION NOT ONLY THE HISTORIC ELEMENTS, BUT ALSO CONSIDERS THE STREETSCAPE WITH ITS STATURE AND SHAPE, PROVIDING FOR A BALANCED STREETSCAPE.
- THE PROPOSED HOME IS NOT IMPOSING, AS IT IS A ONE STORY WITH LOW SLUNG ROOF LINES THAT PROVIDE VAULTED SPACES ON THE INTERIOR IN ORDER TO FIT IN WITH THE NEIGHBORING HOMES AND HUG THE TOPOGRAPHY OF THE SITE.
- THE FACADE WILL BE THIN STONE VENEER MIXED WITH BOARD AND BATTEN SIDING IN KEEPING WITH THE HISTORIC STYLING OF THE HOMES THIS PROPOSED HOME IS STYLED AFTER.

SINGLE FAMILY RESIDENCE for:
141 Horseshoe Drive,
Kirkwood, Mo 63122



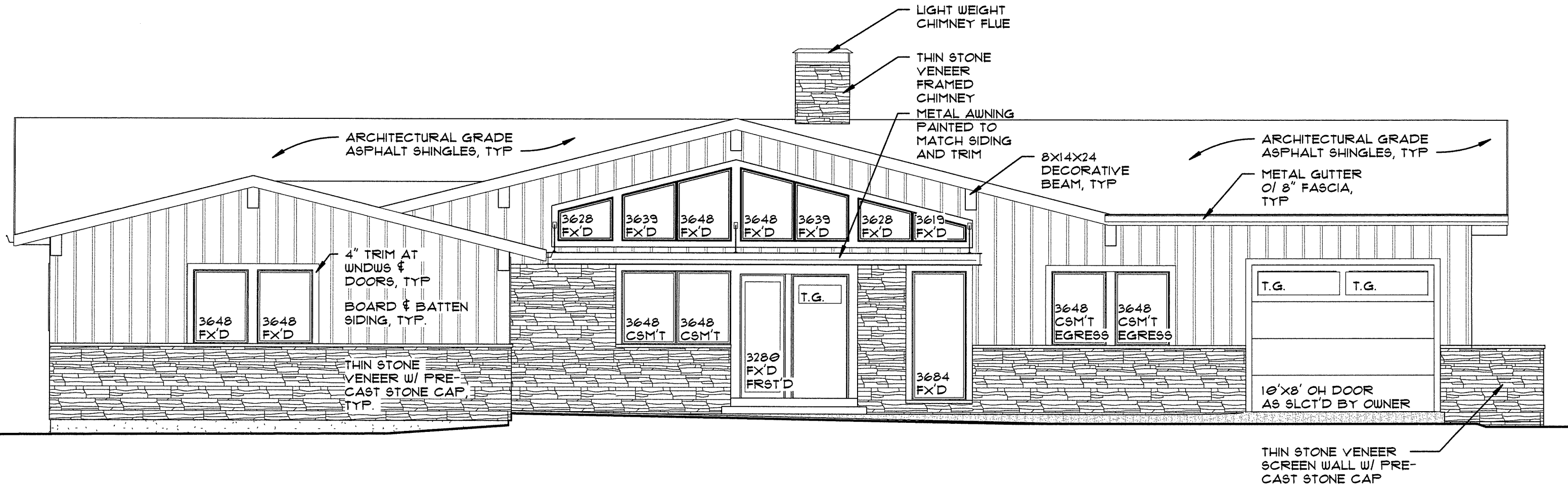
JEFF DAY
14311 Manchester Rd. Manchester, MO. 63011
314.644.2775
www.jeffdayllc.com
ASSOCIATES
ARCHITECTURE & PLANNING

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SINGLE FAMILY RESIDENCE for:
141 Horseshoe Drive,
Kirkwood, Mo 63122

A1

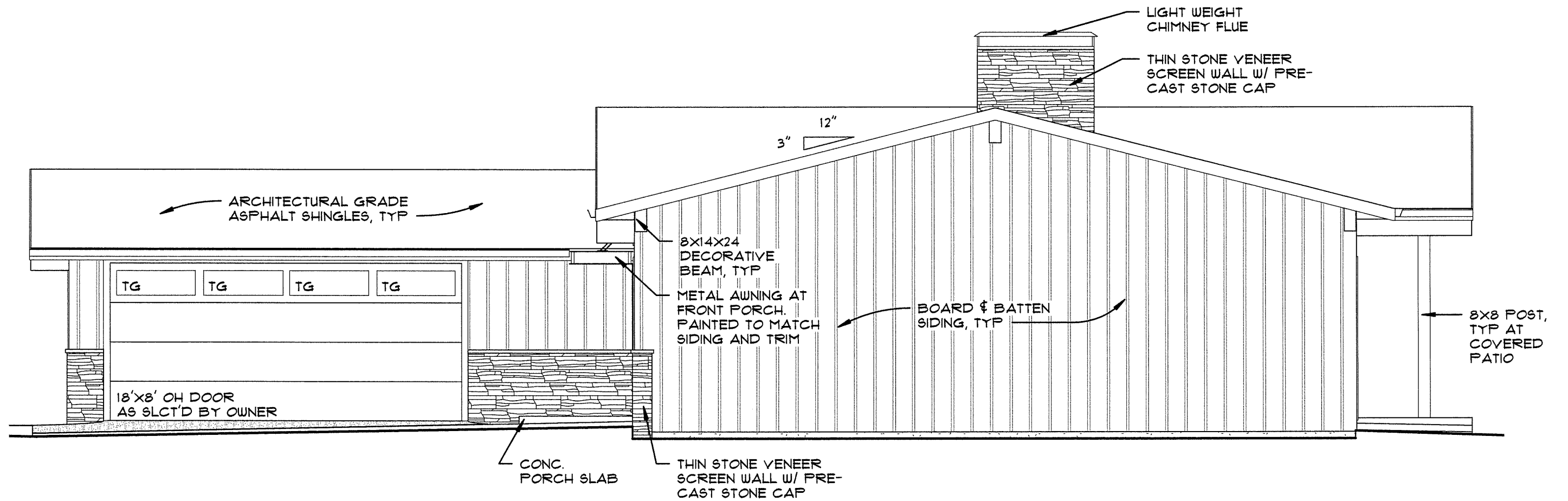
JDALLC 23 43
DATE: 06/28/2023



FRONT ELEVATION

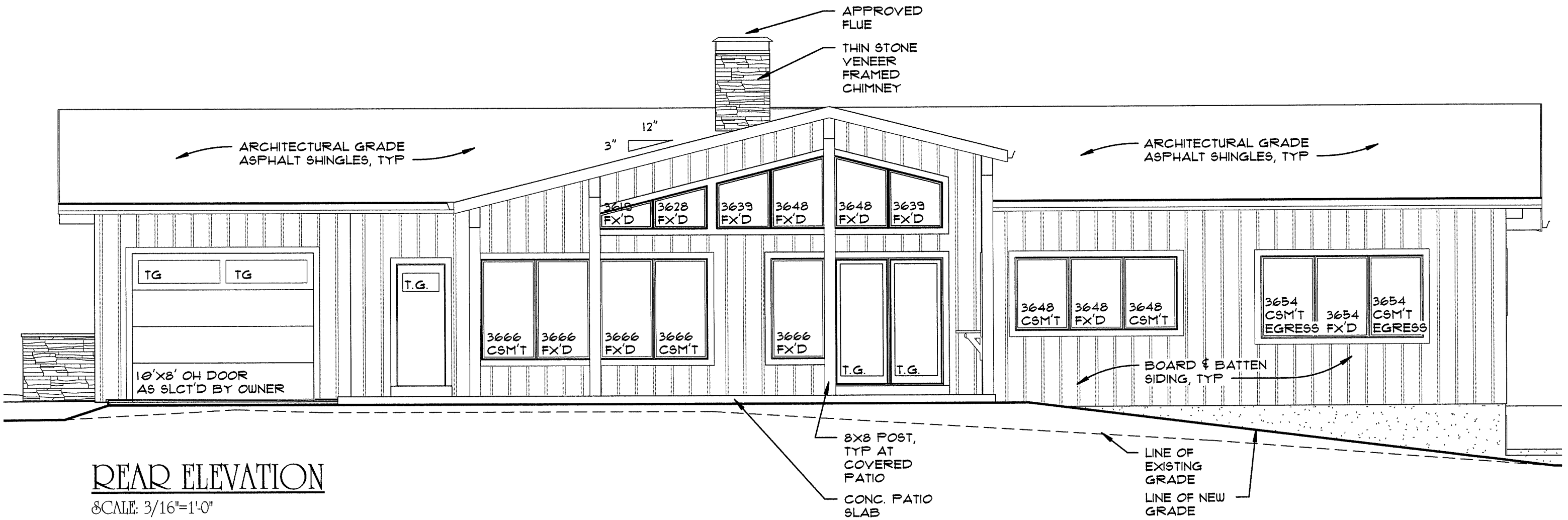
SCALE: 3/16"=1'-0"

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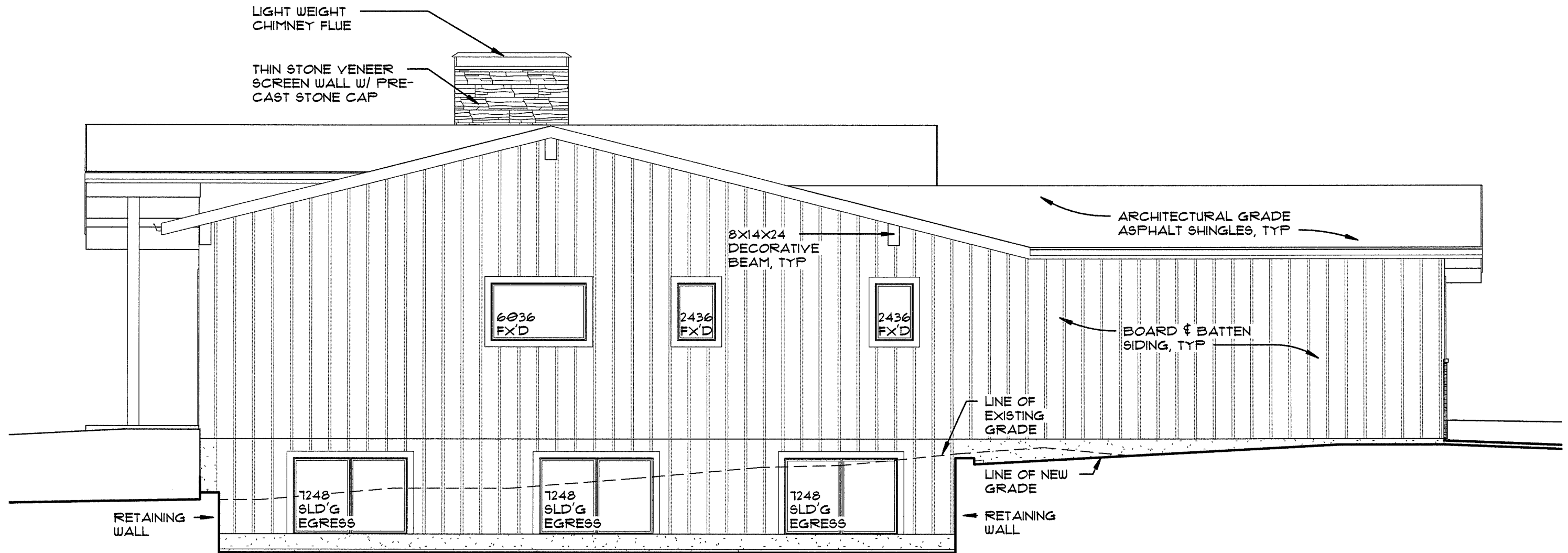
RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"

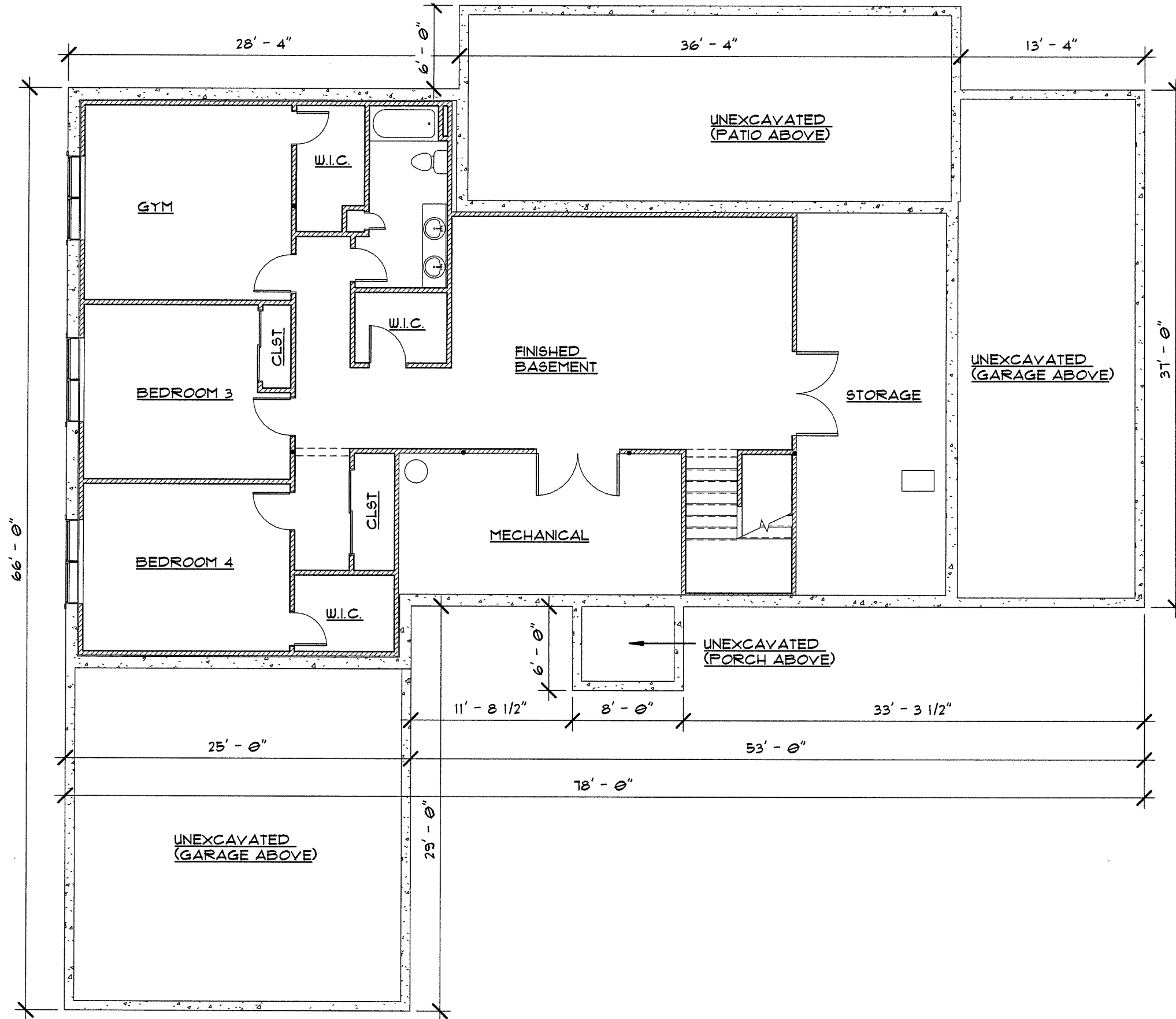


REAR ELEVATION

SCALE: 3/16"=1'-0"



LEFT SIDE ELEVATION
 SCALE: 3/16"=1'-0"

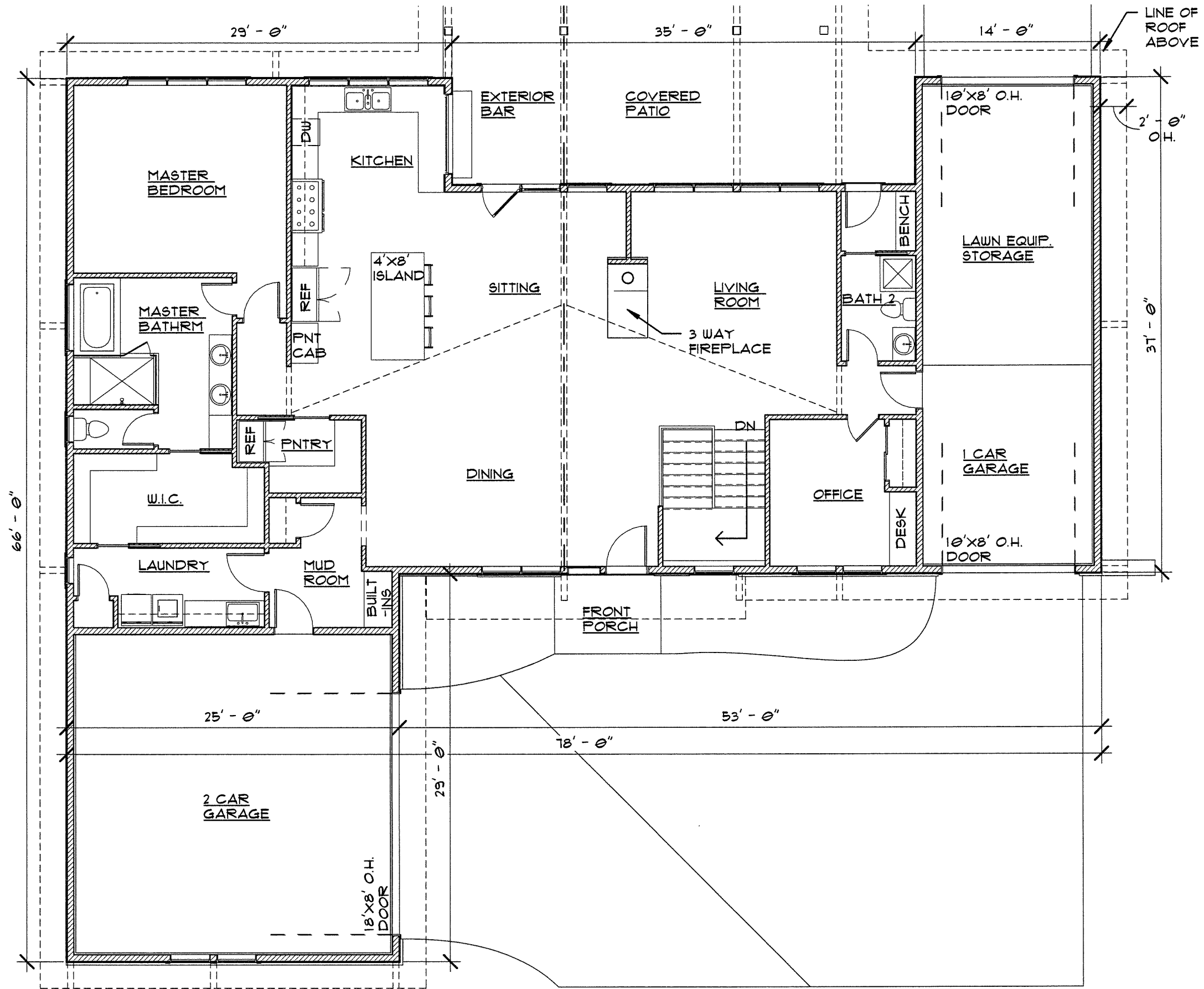


FINISHED BASEMENT PLAN

SCALE: 1/8"=1'-0"

1,540 F.S.F.

SINGLE FAMILY RESIDENCE for:
 141 Horseshoe Drive,
 Kirkwood, Mo 63122



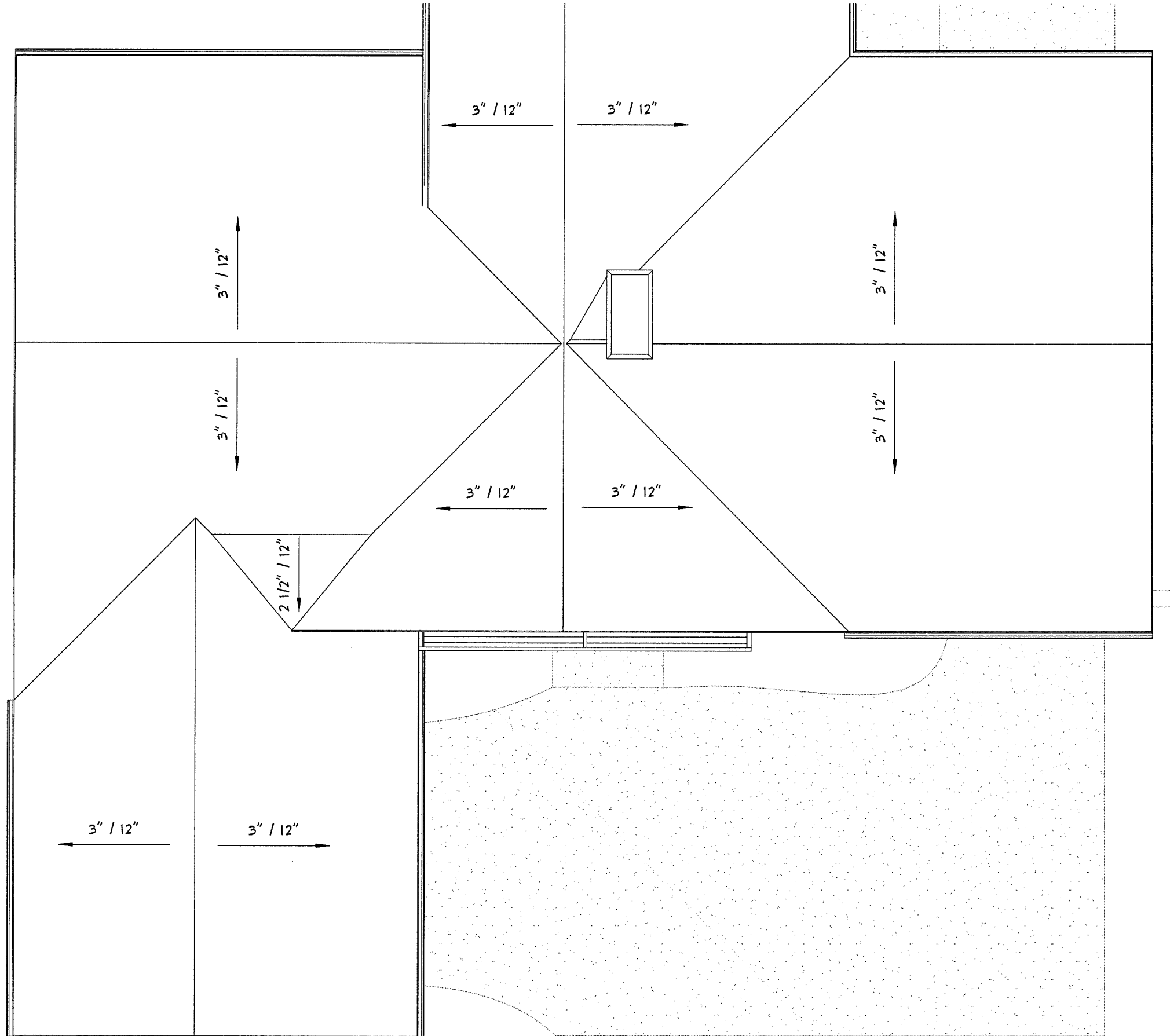
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0" 2,215 S.F.

SINGLE FAMILY RESIDENCE for:
 141 Horseshoe Drive,
 Kirkwood, Mo 63122

A7

JDALLC 23 43
 DATE: 06/28/2023





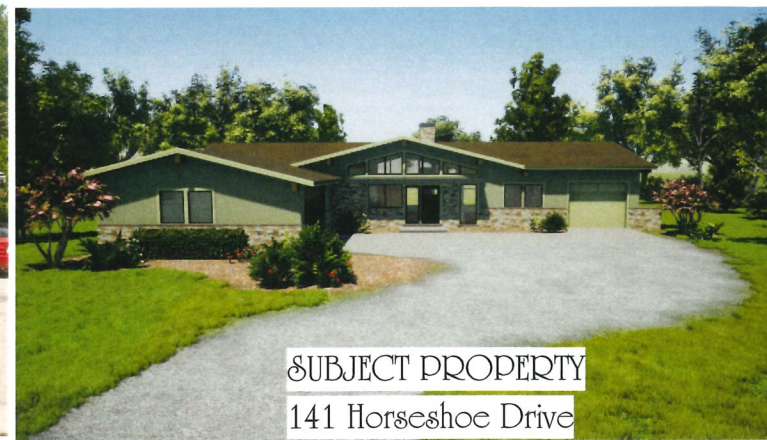
161 Horseshoe Drive



153 Horseshoe Drive



145 Horseshoe Drive



SUBJECT PROPERTY
141 Horseshoe Drive

Horseshoe Drive



170 Horseshoe Drive



162 Horseshoe Drive



154 Horseshoe Drive



SUBJECT PROPERTY
141 Horseshoe Drive



136 Horseshoe Drive



130 Horseshoe Drive



120 Horseshoe Drive

Horseshoe Drive



140 Horseshoe Drive



113 Horseshoe Drive



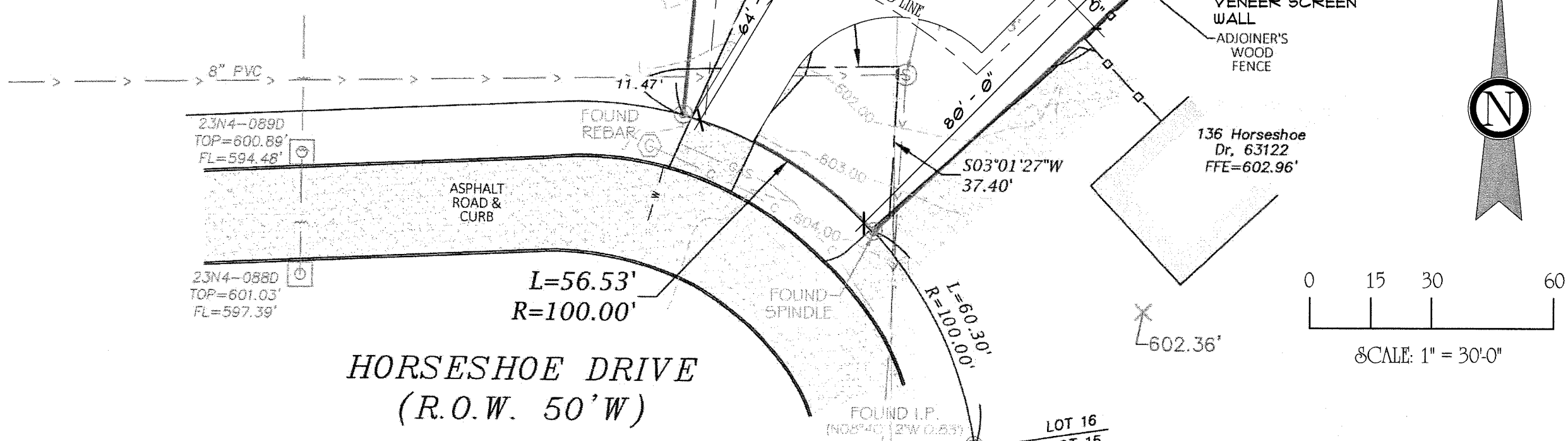
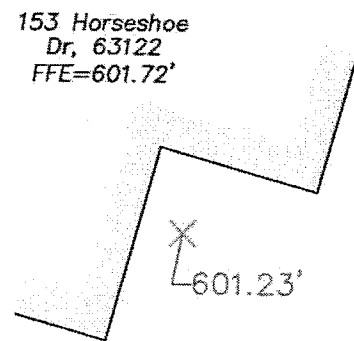
105 Horseshoe Drive

141 HORSESHOE DRIVE

LOT 17 OF SUGAR CREEK RANCH PLAT ONE
 PLAT BOOK: 61 PAGE(S): 36
 ST. LOUIS COUNTY, MISSOURI

N89°40'31"E
 257.00'
 N/F
 LOCATOR: 23N210342
 DOC# 2022081700212

EXISTING SITE COVERAGE			PROPOSED SITE COVERAGE		
LOT AREA	36,309 SF		LOT AREA	36,309 SF	
TOTAL	843 SF	2.3%	TOTAL	5,263 SF	14.5%
ASPHALT DRIVE - T.B.R.	843 SF		HOUSE	2,215 SF	
			CONC DRIVE	2,469 SF	
			FRONT PORCH	48 SF	
			PATIO	498 SF	
			AC PAD	33 SF	



Single Family Residence for:
 141 Horseshoe Dr.
 Kirkwood, Mo 63122

JEFF DAY ASSOCIATES ARCHITECTURE & PLANNING
 14311 Manchester Rd, Manchester, MO 63011
 314.644.2775
 www.jeffdayllc.com

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A11

JDALIC 23 43
 DATE: 6/28/2023



Kirkwood Landmarks Commission

Application for Certificate of Appropriateness

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1. Property Address 418 E. ARGONNE

2. Property Status Local Landmark Designation
 National Register of Historic Places
 Within a Historic District

3. Name of Applicant PEARL CONSTRUCTION
Mailing Address 58 HOW DR
City/State GLENDALE MO Zip Code 63122
Office Phone () Cell Phone (314) 220-9555
Home Phone () E-Mail PEARLCONSTRUCTION@SBCGLOBAL.NET

4. Relationship of Applicant to Property Owner Contractor Architect Lawyer
 Other - Please specify _____

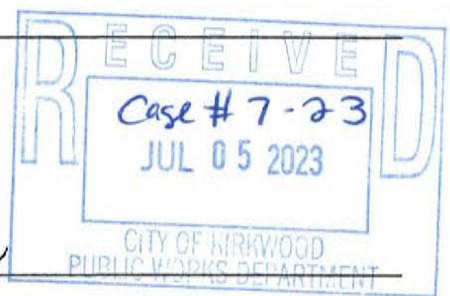
5. Existing Building Use SFR

6. Proposed Building Use SFR

7. Proposed Change to Primary Structure Accessory Structure Landscape Element

8. Nature of Proposed Change
 Demolition Window Configuration
 Addition Sign Erection or Placement
 Alteration to Exterior Fence
 New Construction Landscape or Hardscape Element
 Other - Please Specify NEW GARAGE

9. Description of Proposed Improvements
BUILD NEW GARAGE



10. **Accompanying Documentation (8 copies each)**

- Site Plan
- Elevations
- Floor/Building Plans
- Other – Please Specify _____
- Structural Report for Demolitions
- Landscape Plan
- Photos

11. **Existing Materials/Construction**

- Stucco
- Other N/A
- Wood Frame
- Brick
- Stone
- Block

12. **Proposed Materials/Construction**

- Stucco
- Other
- Wood Frame
- Brick
- Stone
- Block

13. **If materials differ from existing, explain reasons**

HOUSE & GARAGE WILL BE HARL

14. **Material samples should be available for review at Commission meeting (preferable) or on site.**

Site Location of Materials _____

I understand the work will not begin until the Landmarks Commission completes its review of this application.

Signature [Signature] Date 7/5/23

Please print name REX TEARL

COMMISSION ACTION Approved Approved with Conditions Disapproved

Signature _____ Date _____

Conditions _____

Comments/Recommendations _____

Historic Inventory**No. 01**

1. No 0189		4. Present Name(s)	
2. County St. Louis		5. Other Name(s) 418 East Argonne Drive	
3. Location of Negatives Landmarks Office digital files / via volunteers			
6. Specific Location 23M220838		16. Thematic Category	
7. City or Town If Rural, Township & Vicinity Kirkwood, MO		17. Date(s) or Period CA 1947	
		28. No. Of Stories: 2	
		29. Basement: Yes () No () Full () Unknown (x)	
		30. Foundation Material: concrete	
		31. Wall Construction: Frame, wood	
		32. Roof Type: High Hip w Intersecting Gables	
		33. No. of Bays: Front: 4+ garage Back: Unknown Side: Unknown	
9. Coordinates UTM Latitude Longitude		18. Style or Design Eclectic Colonial Revival	
10. Site () Building (1)		19. Architect or Engineer Unknown	
11. On National Register? no		20. Contractor or Builder Unknown	
12. Is it Eligible? Yes () No ()		21. Original Use, if apparent Single Family Residence	
13. Part of Estab. Yes () Hist. District? No (x)		22. Present Use Single Family Residence	
14. District Potential 1C 2C		23. Ownership: Public () Private (x)	
15. Name of Established District Jefferson-Argonne Historic District		24. Owner's Name & Address unknown	
		25. Open to Public? Yes () No (x)	
		26. Local Contact Person or Organization	
		27. Other Surveys in Which Included – 1988, 2004, 2007	
		34. Wall Treatment: Wide Horizontal Vinyl Lap Siding	
		35. Plan Shape: Irregular	
		36. Changes: Additions () Altered () Moved () (Explain in #42)	
		37. Condition: Interior: unknown Exterior: excellent	
		38. Preservation Underway? Yes () No (x)	
		39. Endangered: Yes () No (x) By What?	
		40. Visible from Public Road? Yes (x) No ()	
42. Further Description of Important Features: This 1.5 and 2 story wood frame and sided Revival residence has a complex footprint; a centered high hip roof is surrounded by varying height gable roofs. Although what appears to be newer vinyl siding covers the building exterior, its overall historic form and fenestration was respected. A primary entrance and flanking round window is sheltered under a roof extension. A projecting ell with gable roof extends beyond the entrance bay. Windows are 6-6, 8-12, and 4-4; many appear to be original or early. A side garage is detached but connected via a covered roof.		41. Distance From and Frontage on Road: 95'	
43. History and Significance: The building and outbuilding were identified as "other" on the initial survey; this 2007 surveyor is considering both contributing to the development of the historic district and recommends further study.		8. Site Plan with North Arrow:	
44. Description of Environment and Outbuildings: The building is original and appears to sit on its original lot. A side garage is accessed via the front.		46. Prepared by: Original by Linda Stockman; Matt Bivens 2007 revise	
45. Sources of Information:		47. Organization: Kirkwood Landmarks Commission	
		48. Date: 1986/06 (original)	
		49. Revision: 2007/September	

November 2023





**Install and maintain tree protection fence as indicated on preservation plan for all trees marked SAVE.
Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be
SAVED. (I.E woodchips, wattles, and hay bales)**

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Craig R. Murphy
I.S.A Certified Arborist
IL-9645A



**Canopy coverage has been adjusted to reflect shared and overlapping crowns.
 Tree species and install locations are recommendations and can be adjusted as long as the guidelines, set forth by
 Kirkwood's canopy replacement policy, are followed.**

Lot size	15,250 Sq ft @ 35% = 5,338 Sq ft
Current Canopy	431 Sq ft 3% Lot Coverage
Canopy Removed	431 Sq ft 100% Current Canopy Removed
Post Demo Canopy	0 Sq ft 0% Lot Coverage Remaining
Added Canopy	5,338 Sq ft
Proposed Final Canopy	5,338 Sq ft 35% Final Coverage

TREE STUDY
SITE PLAN REVIEW
6-16-2023

PROPERTY LOCATION: 418 E. Argonne

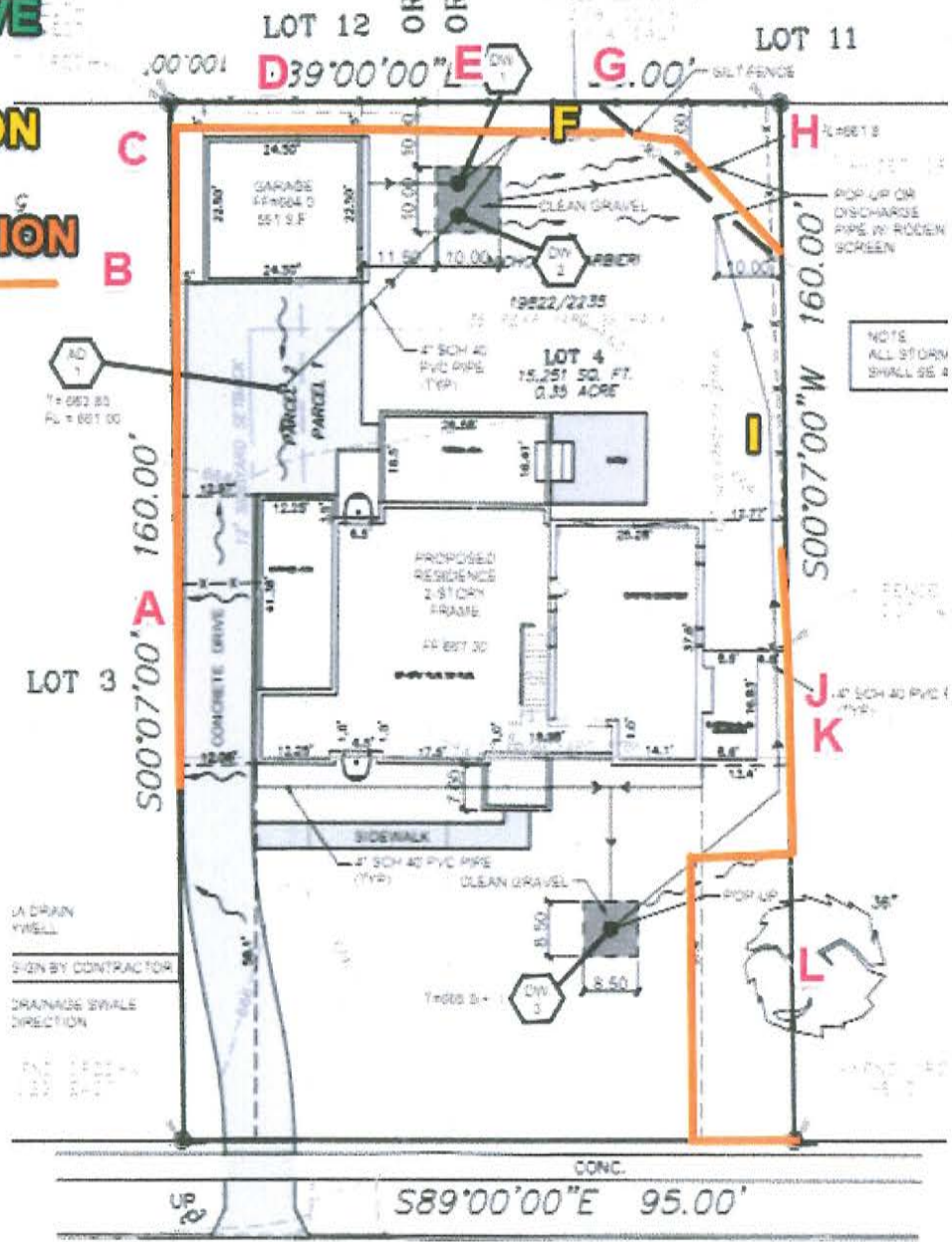
#	TREE SPECIES	D B H	SAVE/ REMOVE/ INSTALL	ADJOINING LOT	COMMENTS	VALUE	COND %	TOTAL CANOPY SQ FT
A	American holly	2.5"	SAVE	YES	row of 3, to be protected by tree protection fence	cost to replace	62	----
B	eastern redbud	6"	SAVE	YES	co-dominant at 4', water sprouts	\$225	68	----
C	eastern redbud	6"	SAVE	YES	bifurcations at 4', minor storm damage	\$220	66	----
D	baldcypress	2x18"	SAVE	YES	co-dominant, strong central leaders	\$3930	71	----
E	eastern redbud	3x1"	SAVE	YES	multi-stemmed	cost to replace	70	----
F	eastern redbud	10"	REMOVE		major lean/ deadwood, storm damage CONDITION	\$260	28	177
G	dogwood	2x3"	SAVE	YES	multi-trunk, deadwood	cost to replace	61	----
H	hackberry	2x20"	SAVE	YES	co-dominant, vines	\$4400	70	----
I	eastern redbud	12"	REMOVE		major storm damage, decay, wetwood CONDITION	\$375	28	254
J	American holly	4x1"	SAVE	YES	multi-stemmed	cost to replace	66	----
K	dogwood	9"	SAVE	YES	co-dominant at 8', dead leader, branch dieback	\$405	44	----
L	white pine	28"	SAVE	YES	deadwood, irregular branch unions, possible lighting strike visible,	\$3560	50	----
1	SUGAR MAPLE	2.5"	INSTALL					1256
2	SUGAR MAPLE	2.5"	INSTALL					1256
3	AMERICAN BEECH	2.5"	INSTALL					2826

A- SAVE
A- REMOVE
A- POOR
CONDITION
TREE
PROTECTION
FENCE

N/F
 MARY SUZANNE
 ROEDEL STRONG TRUST
 23896/2578

ORG. BLC
 ORG. BLC

N/F
 DOUGLAS & JENNIFER
 HOWARD
 20754/1612

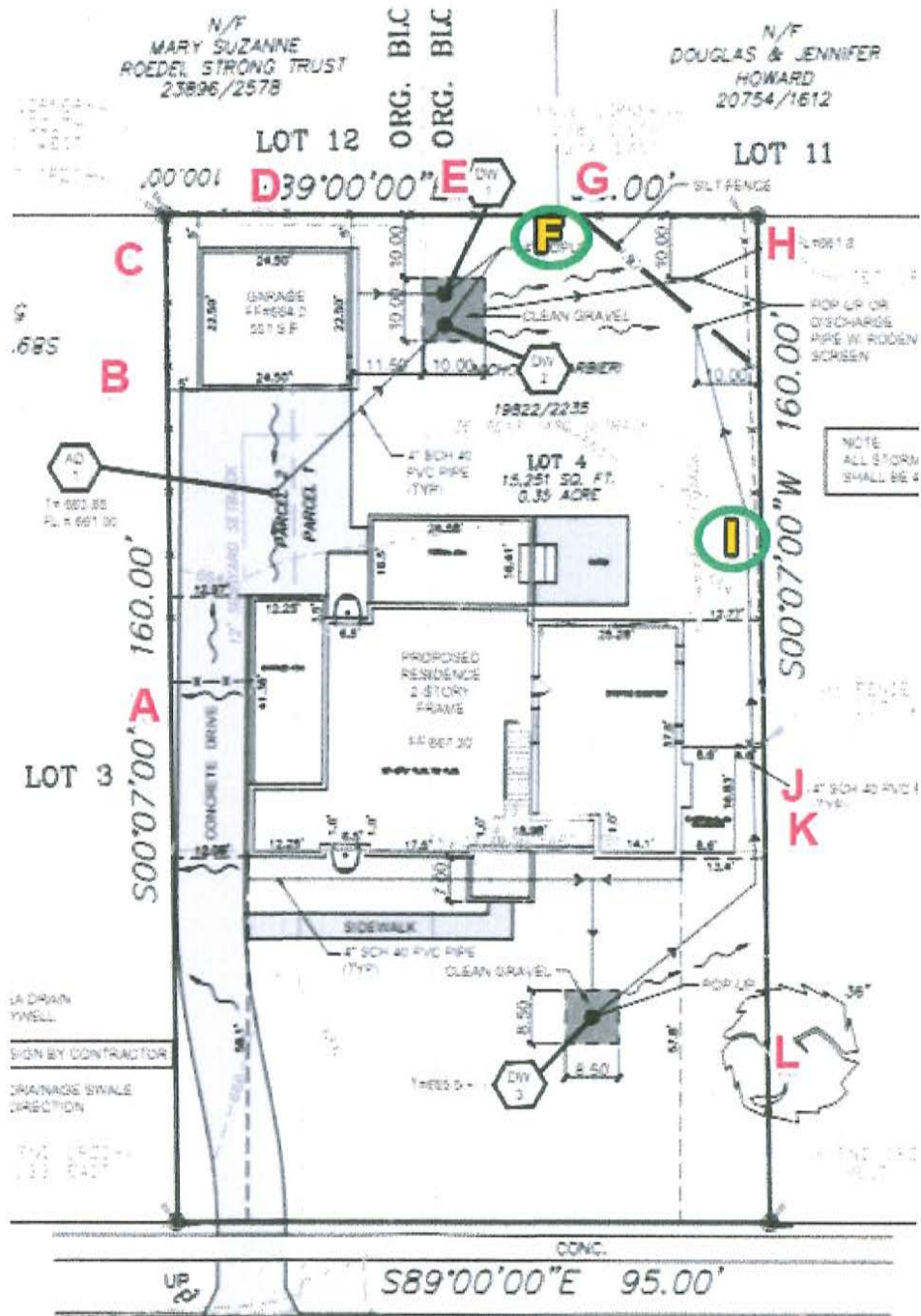


LA DRAIN
 WELL
 SIGN BY CONTRACTOR
 DRAINAGE SWALE
 DIRECTION

NOTE
 ALL STORM
 SHALL BE 2

E. ARGONNE DRIVE
 (60' W)

**EXISTING
CANOPY**



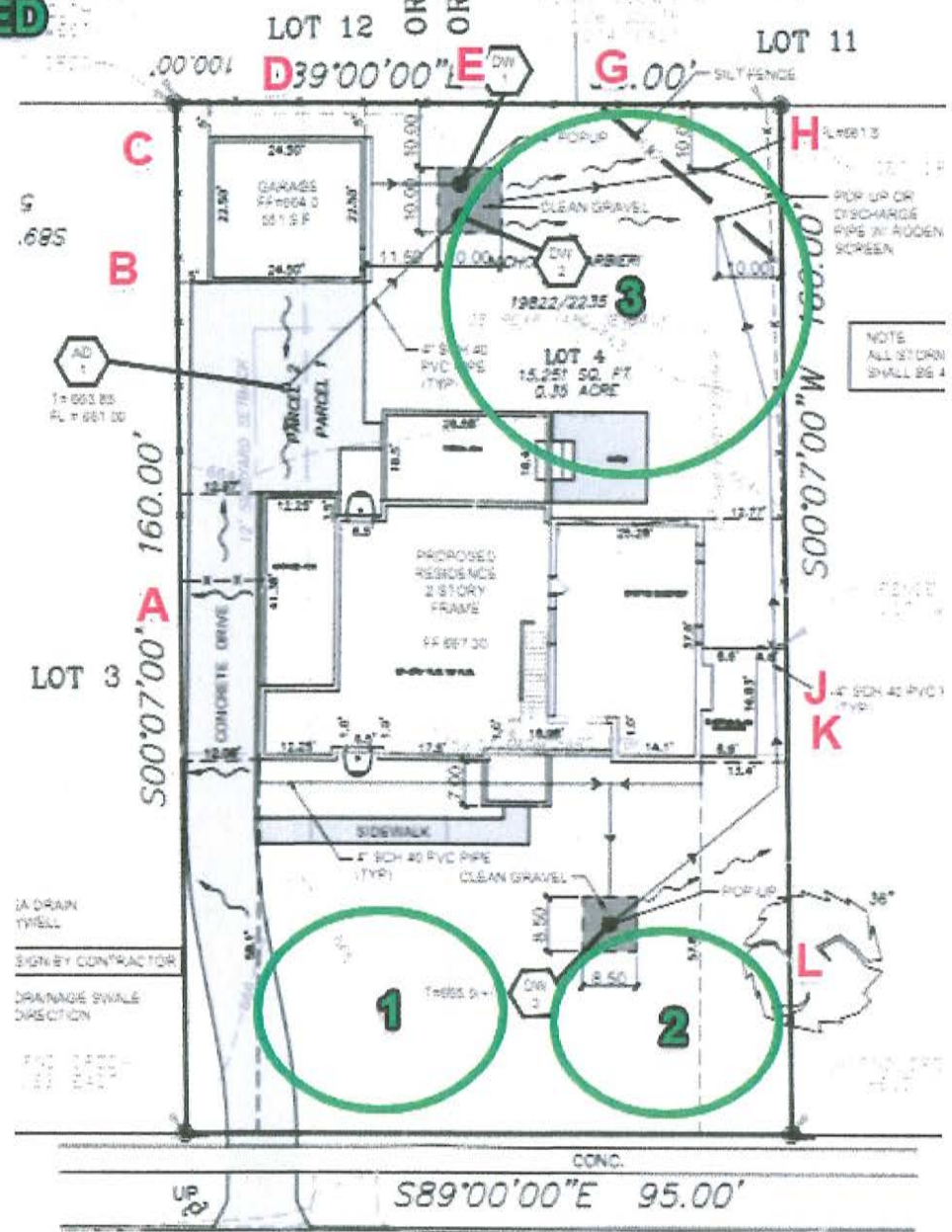
**E. ARGONNE DRIVE
(60' W)**

**PROPOSED
CANOPY**

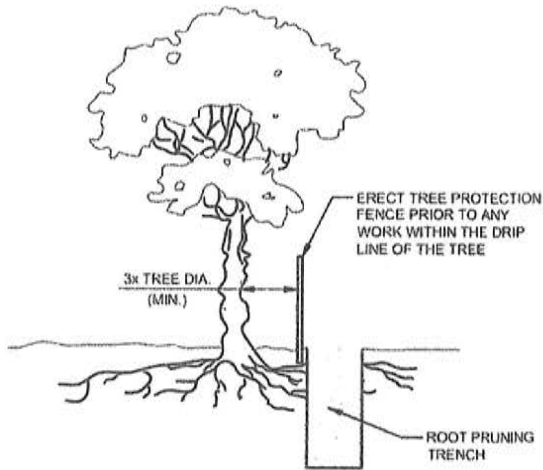
N/F
MARY SUZANNE
ROEDEL STRONG TRUST
23896/2578

ORG. BLC
ORG. BLC

N/F
DOUGLAS & JENNIFER
HOWARD
20754/1612



E. ARGONNE DRIVE
(60'W)



NOTES:

1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

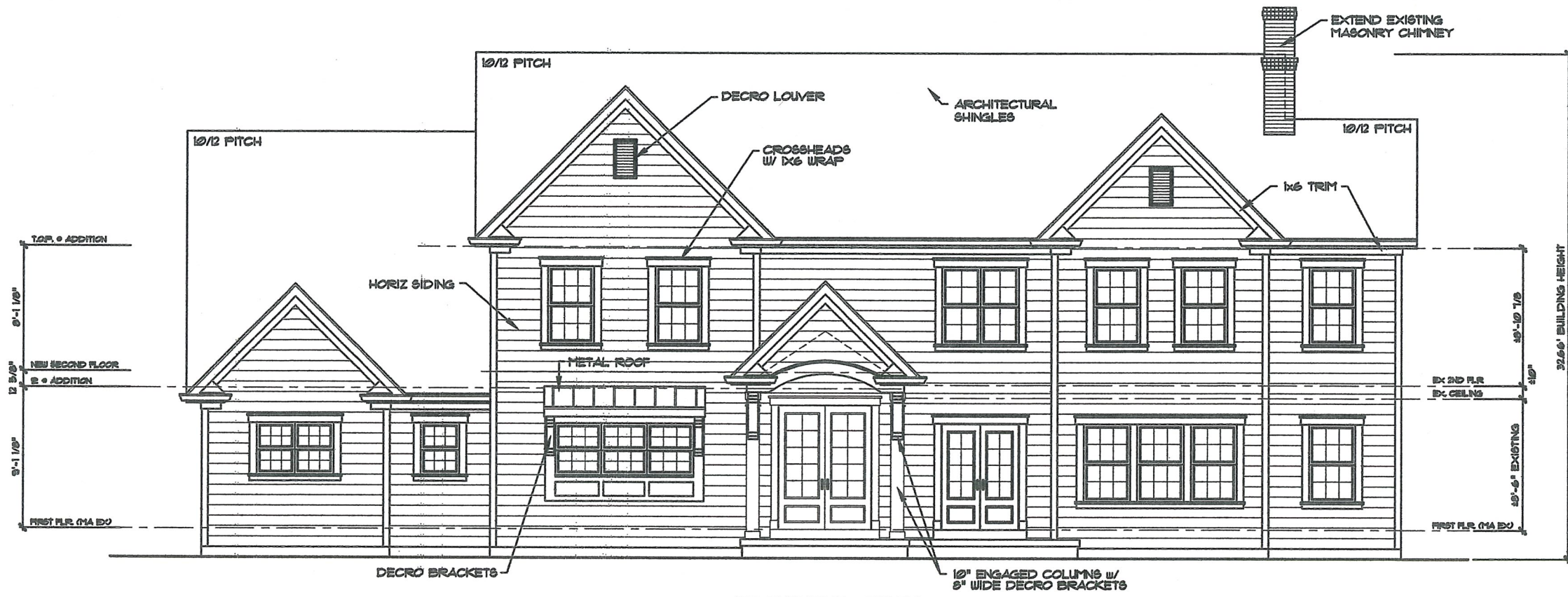
NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
 - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
 - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
 - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
 - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
 - 3.1. TREE ROOTS MUST BE KEPT MOIST, IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
 - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.





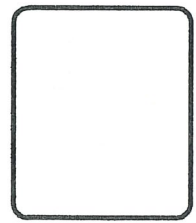
FRONT ELEVATION

1/8" = 1'-0"



RIGHT SIDE ELEVATION

1/8" = 1'-0"



DONNA F. BOXX, Architect, P.C.
 160 Marine Lane
 St. Louis, Missouri 63146
 (314) 434-2833
 FAX (314) 434-2203
 www.boxxarchitect.com

PROPOSED ALTERATIONS FOR:
PEARL CONSTRUCTION
 418 E ARNONE
 KIRKWOOD, MISSOURI

EXTERIOR ELEVATIONS
 RELEASED FOR ARB 6-2-2023
 REVISED: 6-13-2023
 REVISED: 6-21-2023

DATE	2022-14
NO.	
A-5	



36" H COUNTER
 • OUTDOOR KITCHEN

REAR ELEVATION

1/8" = 1'-0"



36" H COUNTER
 • OUTDOOR KITCHEN

LEFT SIDE ELEVATION

1/8" = 1'-0"

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 160 Marine Lane
 St. Louis, Missouri 63146
 (314) 434-2393
 FAX (314) 434-2203
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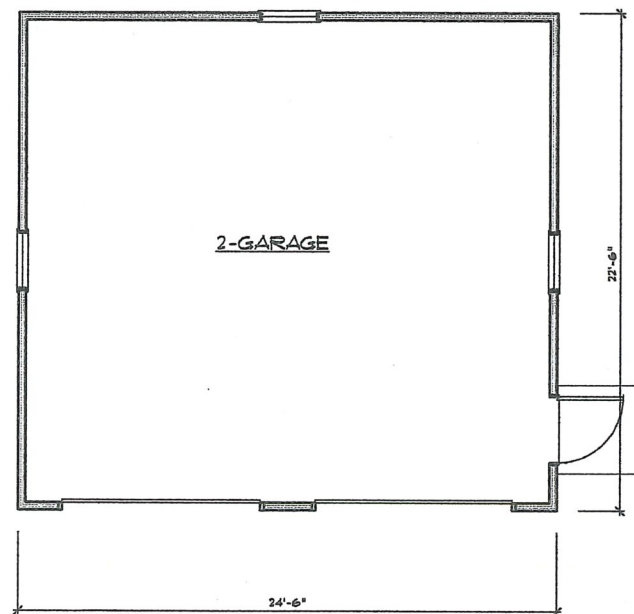
PROPOSED ALTERATIONS FOR
PEARL CONSTRUCTION
 418 E ARGONNE
 KIRKWOOD, MISSOURI

EXTERIOR ELEVATIONS
 RELEASED FOR ARB 6-2-2023
 REVISED: 6-13-2023

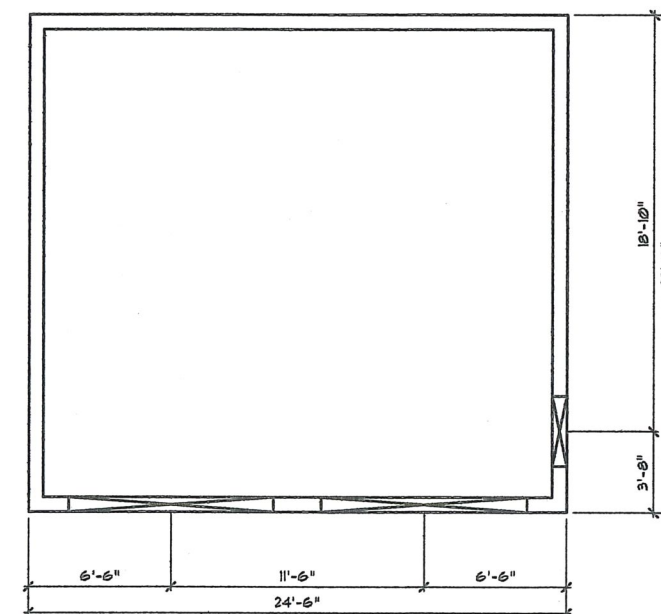
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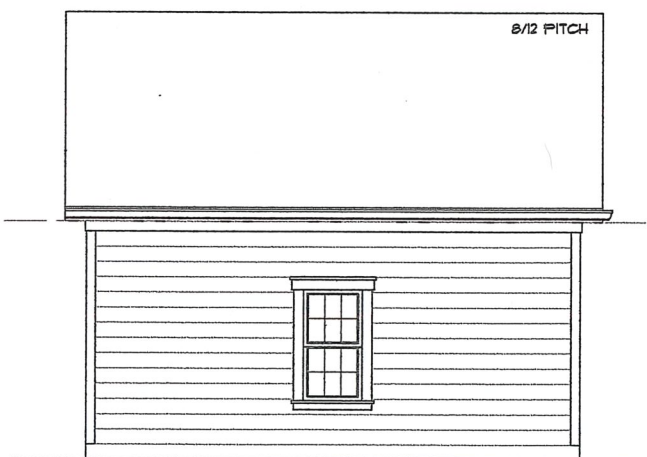
REAR ELEVATION



GARAGE PLAN



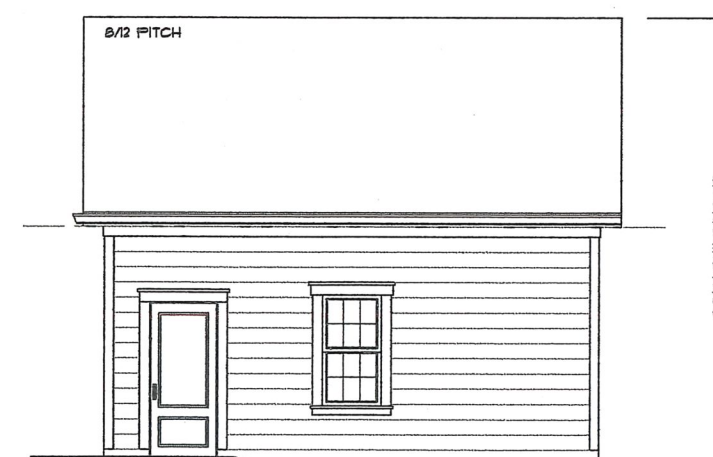
FOUNDATION PLAN



LEFT SIDE ELEVATION



FRONT ELEVATION



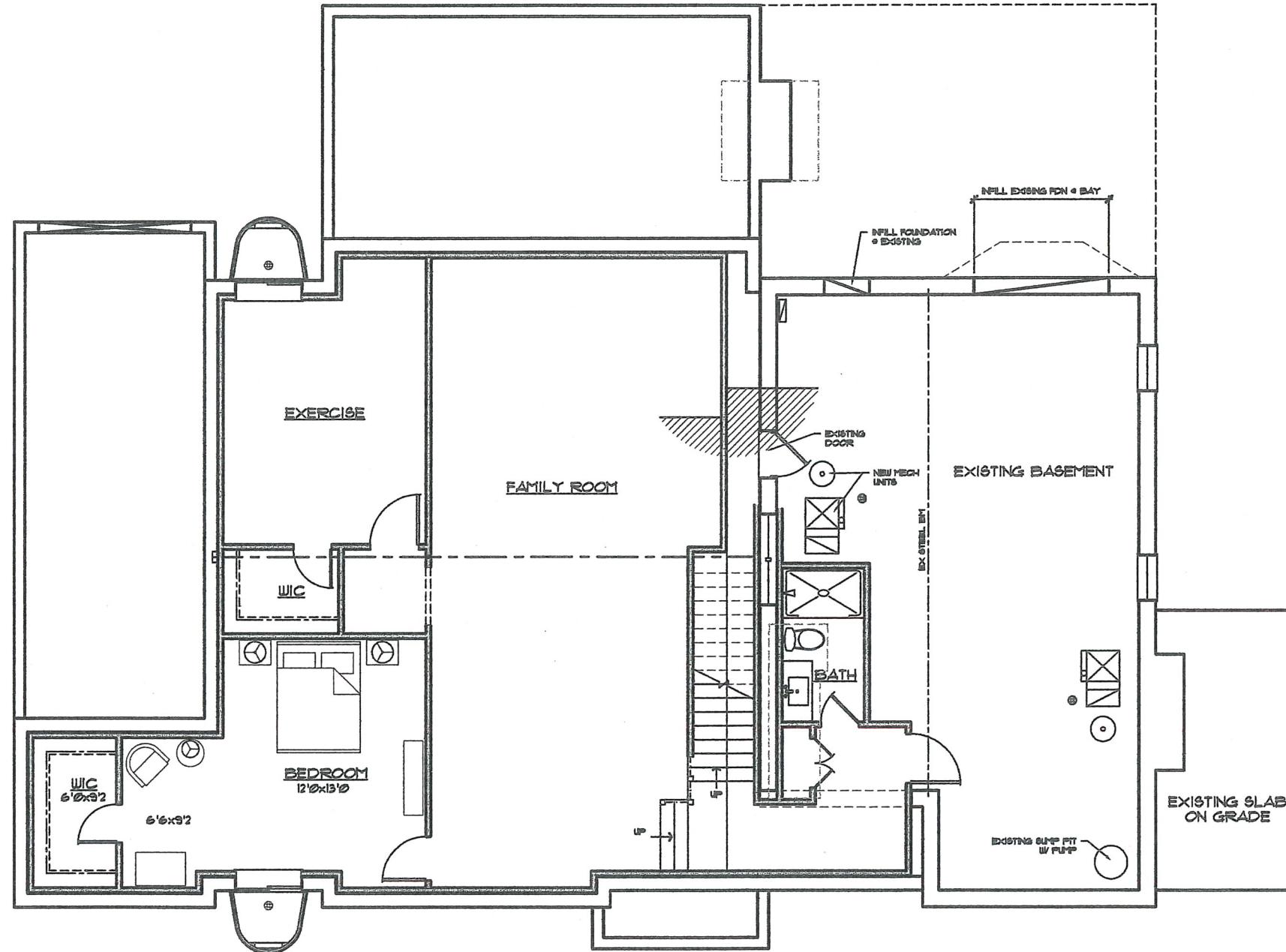
RIGHT SIDE ELEVATION

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 160 Marine Lane
 St. Louis, Missouri 63146
 (314) 434-2333
 FAX (314) 434-2203
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PROPOSED ALTERATIONS FOR:
PEARL CONSTRUCTION
 418 E ARGONNE
 KIRKWOOD, MISSOURI

DETACHED GARAGE
 RELEASED FOR ARB 6-2-2023
 REVISED: 6-13-2023
 REVISED: 6-21-2023

DATE	JOB
--	2022-14
REV.	
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SHEET	
A-7	
OF	SHEETS



FOUNDATION / BASEMENT PLAN

1/8" = 1'-0"

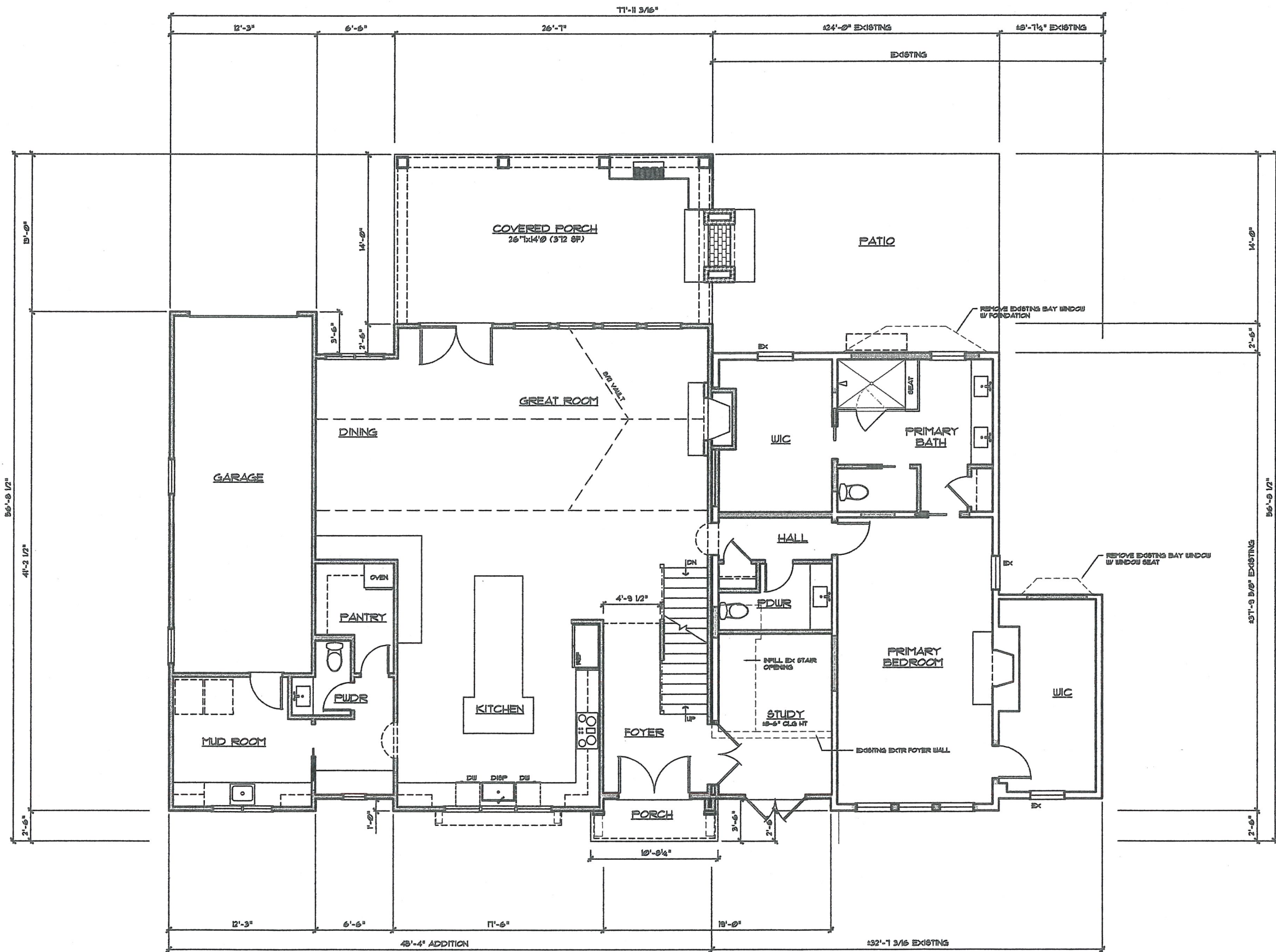


DONNA F. BOXX, Architect, P.C.
 160 Marine Lane
 St. Louis, Missouri 63146
 (314) 434-2333
 FAX (314) 434-2203
 www.donnafboxx.com

PROPOSED ALTERATIONS FOR:
PEARL CONSTRUCTION
 48 E ARNONE
 KIRKWOOD, MISSOURI

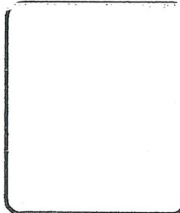
FOUNDATION / BASEMENT PLAN
 RELEASED FOR ARB 6-2-2023
 REVISED: 6-13-2023

DATE	2022-14
BY	
CHK	
APP	
A-3	



FIRST FLOOR PLAN

1/8" = 1'-0"

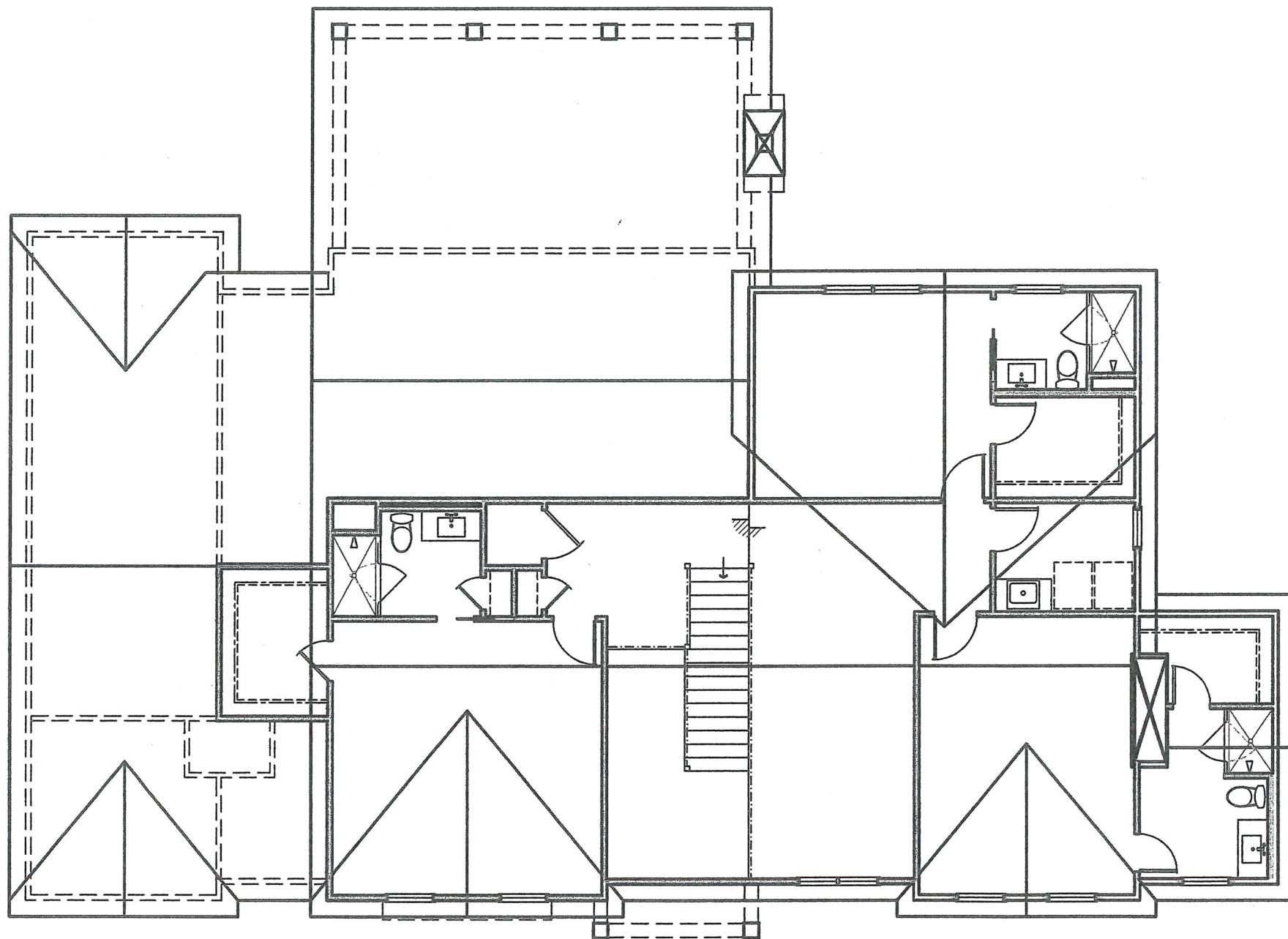


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PROPOSED ALTERATIONS FOR:
PEARL CONSTRUCTION
 418 E ARGONNE
 KIRKWOOD, MISSOURI

FRST FLOOR PLAN
 RELEASED FOR ARB 6-2-2023
 REVISED: 6-13-2023

DATE	JOB
REV	1022-14
REV	
REV	
SHEET	
A-1	
1 of 2 SHEETS	



ROOF PLAN

1/8" = 1'-0"

DATE	2022-14
REV.	
REV.	
REV.	
DATE	

A-4

ROOF PLAN

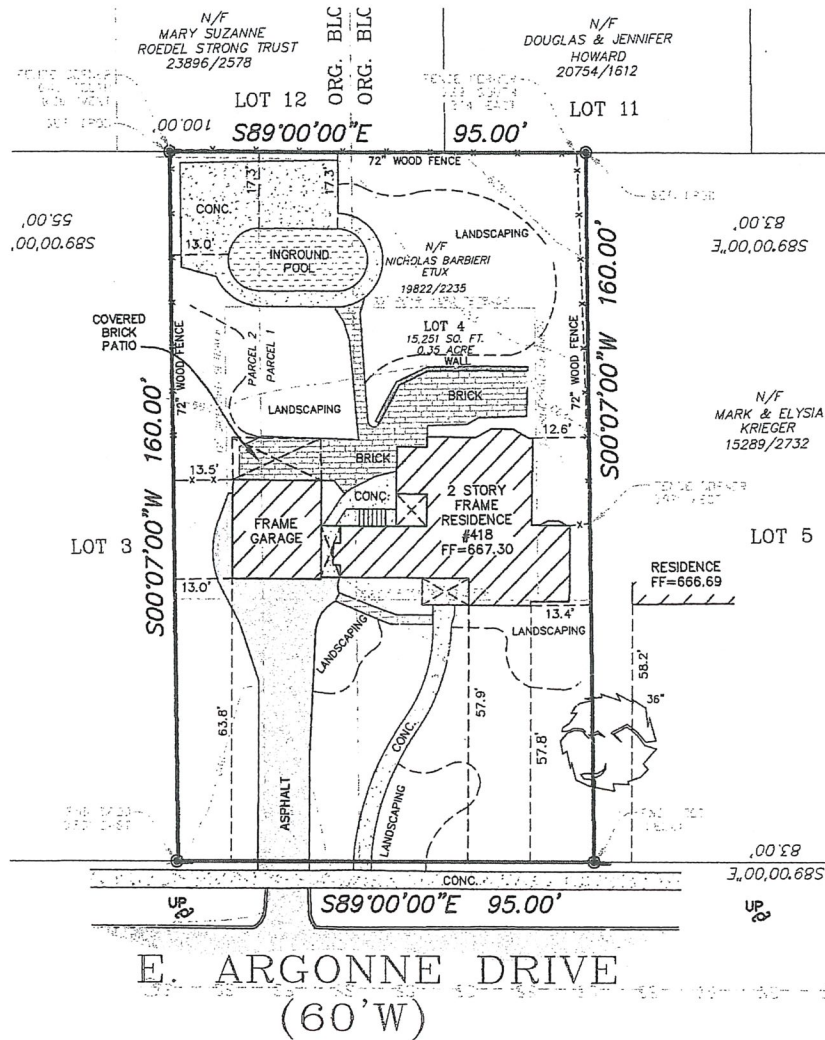
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REVISED: 6-13-2023

PROPOSED ALTERATIONS FOR

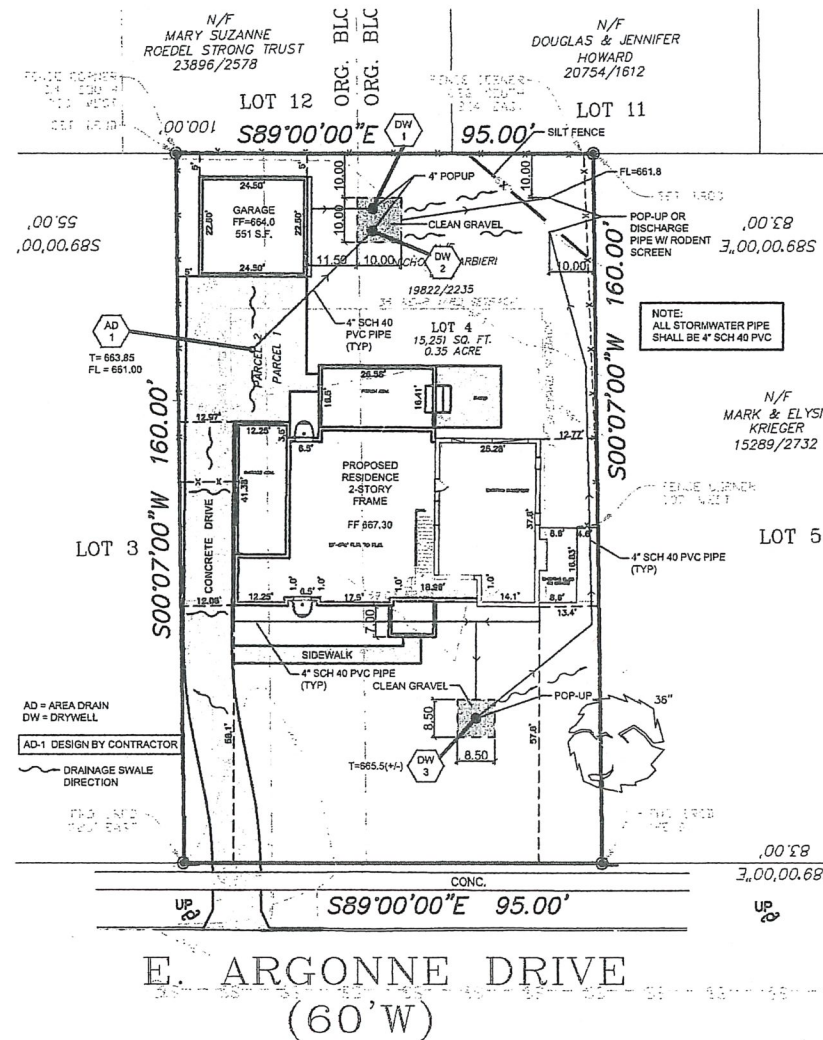
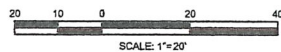
PEARL CONSTRUCTION
418 E ARNONE
KIRKWOOD, MISSOURI

DONNA F. BOXX, ARCHITECT, P.C.
 MISSOURI STATE CERTIFICATE OF AUTHORITY #00004-0

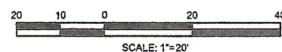
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 160 Marine Lane
 St. Louis, Missouri 63146
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Existing Site Plan



Proposed Site Plan



DRY WELL DATA		
CONTRIBUTING AREA	TOP ELEV. (+/-)	OUTLET PIPE ELEV. (+/-)
DW 1 551 SF	663.2	662.0
DW 2 988 SF	663.2	662.0
DW 3 1,023 SF	665.5	663.0

- LEGEND**
- EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - 611.0 PROPOSED GROUND ELEVATION
 - TF TOP OF FOUNDATION
 - TW TOP OF WALL
 - BW BOTTOM OF WALL AT GROUND
 - EX EXISTING
 - FF FINISHED FLOOR
 - TW TOP OF WALL
 - BF BASEMENT FOUNDATION
 - TBR TO BE REMOVED
 - C.O. CLEANOUT
 - PL PROPERTY LINE
 - DND DO NOT DISTURB
 - DS DOWNSPOUT (DS)
 - PROPOSED SANITARY MANHOLE
 - PROPOSED STORM INLET
 - UNDERGROUND CATV LINE
 - 8" WATER MAIN
 - PROPOSED WATER
 - PROPOSED SANITARY
 - PROPOSED STORM SEWER
 - PROPOSED 8" PVC GRAVITY SEWER LATERAL
 - DISTURBED AREA LIMITS
 - SILT FENCE
 - GUTTER
 - EX 4" PVC ROOF DRAIN

CAUTION!!!
CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EXCAVATION OPERATIONS TO AVOID AND PROTECT EXISTING UNDERGROUND UTILITIES.

THE UNDERGROUND UTILITIES SHOWN HEREIN HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.



1-800-DIG-RITE

NOTES:

- The engineer's seal on this plan pertains only to the sizing of Flo-Well Dry Well System and calculations of the site differential runoff.
- The location of the Flo-Well Dry Well System shall be as determined by the contractor and owner. The discharge pipe from the Flo-Well System shall be at least 10' from the adjoining property and shall be at a grade that does not create an erosive discharge velocity (under 4 fps).
- Gutter protection system such as Leaf Guard Gutter by Englert (www.leafguard.com), or Gutter Helmet (www.gutterhelmet.com) shall be provided for all gutters connected to the Flo-Well Dry Well System. See detail sheet 2.

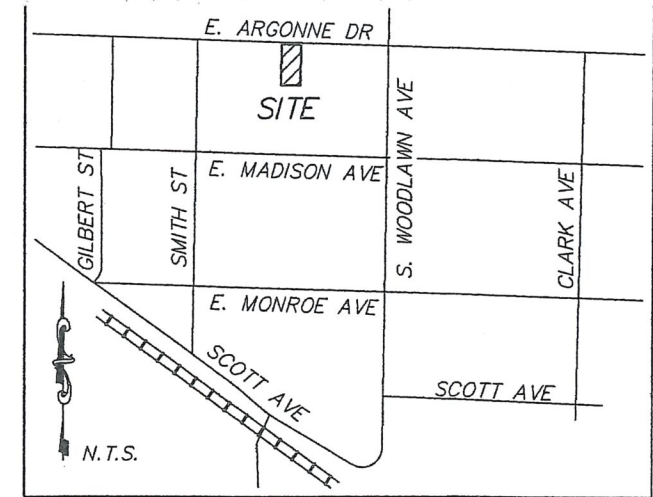
CONTRACTOR SHALL DIRECT 2,562 SQ. FT. OF IMPERVIOUS AREA TO DRY WELL SYSTEM.

Runoff Calculations

- Lot Size: 15,251 sq ft
- Existing impervious area, sq ft: 5,169 sq. ft.
- Proposed impervious area, sq. ft = 6,375 sq. ft.
- Total impervious area increase = (6,375 - 5,169) sq ft = 1,206 sq ft.
- 25% of Lot Size = 3,813 sq ft
- Contributing Drainage area is the greater of the following:
 - Net increase in impervious area over 1,000 sq ft allowance = 1,206 - 1000) sq. ft = 206 sq. ft. OR
 - Proposed impervious area (contributing drainage area) sq. ft. = Proposed Impervious Area - 25% of lot size = (6,375 - 3,813) sq. ft = 2,562 sq ft
- Proposed contributing drainage area = 2,562 sf.
- Increased runoff = 2,562 sf x 1.14"/12" = 243 cf
- Rock required with 40% porosity = 243 cf/0.40 = 608 cf
- Rock required due to no permeability test: 608 cf + 10% = 669 cf
- Using a rock depth of 4': rock area = 669 cf/4' = 167 sf (13' x 13')
- Rock area for Dry Well shall be 4' deep x 169 sf (see above)
- Contractor shall direct 2,562 sf of impervious area to dry well systems.

CONSTRUCTION NOTES

- The location of Dry Well System shown on this plan is approximate and may change based on the owner's and contractor's decision. HOWEVER, in no circumstance shall the impervious area directed to the Dry Well System be less than 770sq. ft. and NO GREATER THAN 1,000 SF.
- The rock used for the Dry Well system shall be 1/2 - 1.5-inch rock per ASTM No. 57).
- Aggregate shall be wrapped top, bottom and sides with a Mirafix 140 N (or approved equal) non-woven geosynthetic.
- All pipe shall be schedule 40 PVC or an approved equal.
- Perforated pipe in dry well shall have polyester filter sock wrap.
- Existing conditions indicated on these plans, including existing calculations, are not covered under the engineer's seal.



LOCATION MAP

PROJECT INFORMATION

- Address of Site: 418 East Argonne
Kirkwood, Missouri 63122
- Property Owner: Pearl Construction, LLC
58 Hill Drive
Glendale, Missouri 63122
- Locator Number: 23M220838
- Current Zoning: R-3 Single Family
- Area of Site: 0.35 ac (15,251 sf)
- School District: Kirkwood
- Fire District: Kirkwood
- Existing use: residential
- Proposed Use: residential
- Building Setbacks:
Front: 59.03'
Side: 12'
Rear: 35'

PREPARED FOR:

Pearl Construction, LLC
C/O Rex Pearl
58 Hill Drive
Glendale, Missouri 63122

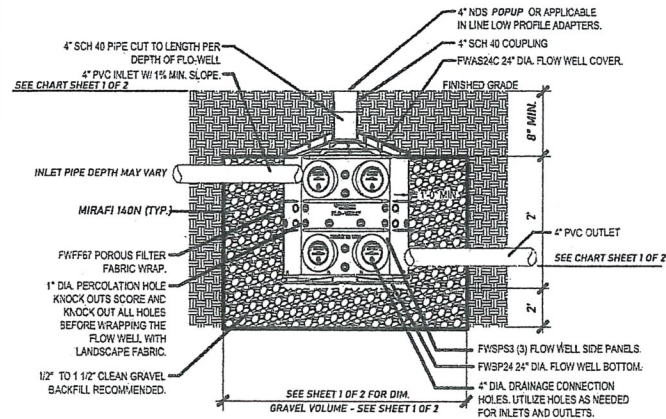
MSD BASE MAP NO. 23M

	PROJECT SITE ADDRESS / LOCATION: 418 E. Argonne	
	SITE DEVELOPMENT ENGINEERING, INC. PLANNING • CONSULTING • CIVIL ENGINEERING 3512 Yaeger Crossing Court St. Louis, Missouri 63129 314-822-4800 sdr@sde-civil.com	
DATE: 06/03/23	JOB NO.: 223-316	DRAWN BY: DWD
CHECKED BY: SDR	SCALE: as shown	
Dry Well Site Plan		
REV: .	SHEET: 1 OF 2	

NOTE: THE ENGINEER'S SEAL ON THIS PLAN PERTAINS ONLY TO THE CALCULATIONS AND DESIGN OF THE DRY WELL SYSTEM



NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com



- NOTES:
- MUST BE INSTALLED 10' AWAY FROM STRUCTURE OR FOUNDATION.
 - FWAS24 KIT DOES NOT COME WITH FWSP24 BTH.
 - REFERENCE FLO-WELL CALCULATOR ON NDSPRO.COM
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

FLO-WELL DRY WELL SYSTEM
FLO-WELL INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

REVISION DATE 3-5-2015

Flo-Well Assembly and Installation Sheet

Thank you for purchasing the Flo-Well system by NDS, the following information can help you maximize the benefits Flo-Well has to offer.

WARNING: Call before you dig. Contact your local utilities to create utility mark-out, and to avoid personal injury.
RECOMMENDED: For all Flo-Well configurations install at least an appropriate 10 feet from foundations or structures.

ASSEMBLY INSTRUCTIONS

- Place two panels side by side and align male tabs with female flange.
- Pinch tabs and flange flush until panels interlock.
- For final lock, slide male tabs downward until panel edges are leveled at top.
- Repeat steps 1-3 for the third panel assembly.
- Set cover over panel assembly and rotate until all three panel flanges are aligned with cover screw locations.

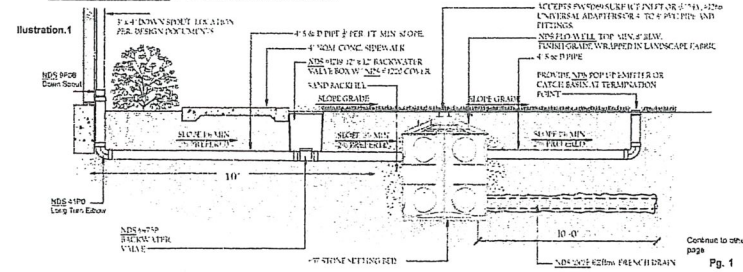


DRY WELL SETUP

Required Items: Small hammer, tape, fabric pack, NDS Universal Adapter, shovel, sand or recommended 3/4" stone gravel, 4" PVC pipe, jig saw, and catch basin or downspout adapter.

- Strategically plan Flo-Well location at a minimum distance of 10' from foundations.
 - Note: Take into consideration traffic and elevation conditions.
- Once Flo-Well location is verified, dig a 4' wide by 4' deep hole.
- Dig a trench from the end of the downspout at about 1' deep and 6" wide that slopes gradually towards the Flo-Well.
- For pipe connection and leach direction, use small hammer to knock-out appropriate 1" and 4" panel ports or use jig saw to cut out universal adapter port.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and insert preferred 4" pipe into knocked-out port. Connect other end of 4" pipe to downspout either by catch basin or downspout adapter.
 - Note: Use NDS Universal Adapter and lock within panel universal adapter cut out for 3" and 6" pipes.
- Backfill evenly around the Flo-Well with sand or recommended 3/4" stone gravel.
- Bury Flo-Well assembly with top at least 8" below the surface grade.

Installation Example: Groundwater Recharge Hardpipe.



Continue to other page Pg. 1

Continued... LFWAS24WH

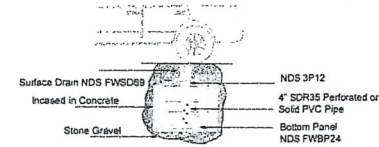
Optional 1: See Illustration #2

- For light traffic applications: Install perforated or slotted SDR35 Pipe to increase vertical loading strength as shown.

Optional 2: See Illustration #1

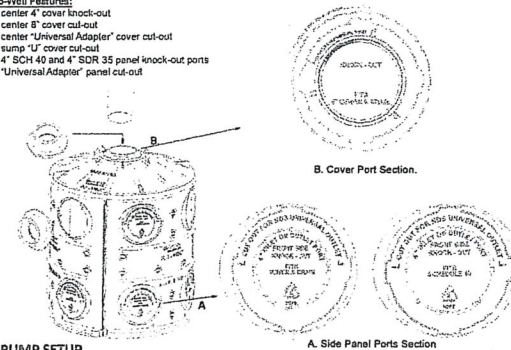
- For water back up prevention: Vert downspout and use surface drain to allow overflow of excess water away from Flo-Well.
- To capture collected surface water: Place the Flo-Well at its lowest elevation point and install surface drain directly on top of cover.

Illustration #2



New Flo-Well Features:

- *Added center 4" cover knock-out
- *Added center 8" cover cut-out
- *Added center "Universal Adapter" cover cut-out
- *Added sump "U" cover cut-out
- *Added 4" SCH 40 and 4" SDR 35 panel knock-out ports
- *Added "Universal Adapter" panel cut-out



SUMP PUMP SETUP

Required Items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, jig saw, and pump

- Follow assembly instructions in section 1 then dig a 4' wide by 4' deep hole at a minimum distance of 10' from foundations.
- For leach direction, use small hammer to knock-out appropriate 1" panel drain holes.
- Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
- Place Flo-Well assembly into ground and back fill around evenly up to cover with sand or recommended 3/4" stone gravel.
- For sump pumps there are (3) options:
 - Knock-out the center 4" plug on the top cover if your pump has a center discharge.
 - Cut-out 8" circle template on cover with jig saw for drop-in sump, cover with 8" S&D pipe, cap or install NDS 8" rnd. Grate part # 1040.
 - Cut the "U" shaped section on the top of cover with a jig saw for pedestal pumps with cut-off floats.
- Attach pump to cover to insure smooth operation of cut-off float.

For installation details, please visit our website www.ndspro.com

Ndspro.com > Products and Solutions > Drainage Solutions > Flo-Well Drywell. The detail drawings will be under the 'Specify Flo-Well' category.

IMPORTANT NOTICE: It is your obligation to determine whether this product is suitable for your intended use and particular method of application. CONSULT YOUR LOCAL BUILDING OFFICIALS TO INSURE COMPLIANCE WITH ALL BUILDING CODES AND REQUIREMENTS.

CAUTION: The step-by-step installation instructions provided reflect mechanical assembly only. Additional information may be necessary to insure proper results for all applications. Consult with professionals to determine special soils conditions and structural requirements.



Another Quality Product brought to you by NDS, Inc.
851 N. Harvard Avenue, Lindsay CA 93247

If you have any questions or comments about this product, please call us at (800) 726-1994

Pg. 2

City of Kirkwood, Missouri
Residential Green Practices - Techniques for Stormwater Management

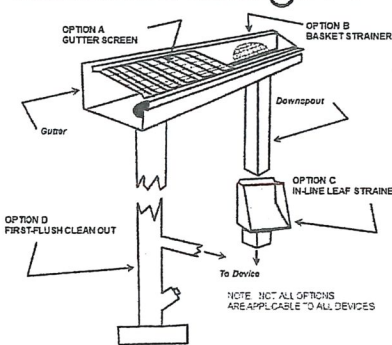


APPENDIX E

Pre-Treatment Options

Some BMPs require that a pretreatment device be installed in order to prevent clogging of the BMP. These pretreatment devices need to be cleaned out periodically to ensure that they are still functioning and to remove any buildup of debris. See the detail below.

CIRCLE ONE OR MORE OPTIONS USED (A) B C D

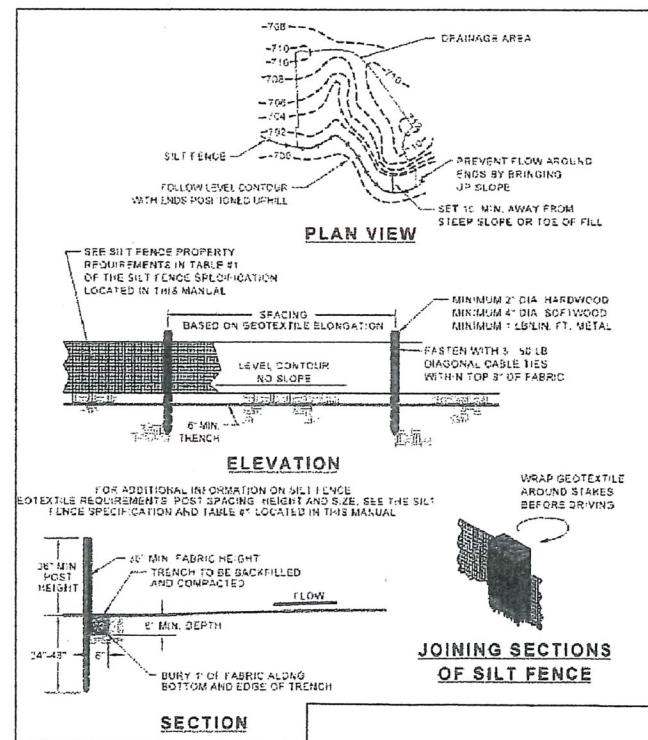


PRETREATMENT OPTIONS DETAIL

This detail consists of the general configuration of pretreatment options, the pretreatment within your BMP may vary in size and position.

Rev_January 2022

E-1



Silt Fence
n.t.s.

PVC Rodent Screen Detail

n.t.s.

DAYLIGHT (RODENT SCREEN). SECURE DAY LIGHTED PIPE ENDS WITH AN END CAP FITTED WITH A RODENT SCREEN MANUFACTURED FOR THE PIPE USED. THE RODENT SCREEN SHALL BE FORMED OF #3 OR #4 MESH, 21 GAUGE OR HEAVIER, TYPE 304 STAINLESS STEEL TO PROVIDE A CUP-SHAPED SCREEN WHICH WILL PROVIDE A FRICTION TIGHT FIT WHEN INSERTED INTO THE DRAIN OUTLET.

SEE PLANS FOR SPECIFIC SIZE NECESSARY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS

NOTE: THE ENGINEER'S SEAL ON THIS PLAN PERTAINS ONLY TO THE CALCULATIONS AND DESIGN OF THE DRY WELL SYSTEM

MSD BASE MAP NO. 23M

SITE DEVELOPMENT ENGINEERING, INC. CORPORATE CERTIFICATE OF AUTHORITY No. 000228		PROJECT SITE ADDRESS / LOCATION: 418 E. Argonne	
SITE DEVELOPMENT ENGINEERING, INC. PLANNING • CONSULTING • CIVIL ENGINEERING			
3512 Yaeger Crossing Court St. Louis, Missouri 63129 314-822-4800 sdr@sde-civil.com			
DATE: 06/03/23 CHECKED BY: SDR		JOB NO.: 223-316 SCALE: as shown	
DRAWN BY: DWD			
Dry Well Details			
SHEET: 2 OF 2			