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**Planning & Zoning Commission
Agenda
Wednesday, May 17, 2023, 7:00 p.m.
Kirkwood City Hall
139 S. Kirkwood Road
Kirkwood, MO 63122
Posted May 12, 2023**

- I. ROLL CALL**
- II. APPROVAL OF THE MAY 3, 2023 MEETING MINUTES**
- II. UNFINISHED BUSINESS**
None
- III. NEW BUSINESS**
 - 1. PZ-01-24 MIXED USE IN B-2 FINAL SITE PLAN – KIRKWOOD APARTMENTS, 300 N. KIRKWOOD ROAD**
Submitted: 4-28-2023 Automatic Recommendation Date: 8-28-2023
Petitioner Brian Maenner
Opportunity for Public Comment
- IV. COMMISSION/STAFF (INTERNAL) ITEMS**
 - 1. DEVELOPMENT PROJECT UPDATE**
- V. PLANNING AND ZONING SCHEDULE:**
 - 1. June 21 and July 19, 2023 (per summer schedule) – 7:00 P.M.

Staff Liaison: Jonathan Raiche; Phone: (314) 984-5926; Email: RaicheJD@kirkwoodmo.org

Kirkwood Planning and Zoning Commission: Chairman Jim Adkins, Commissioners James Diel, David Eagleton, Ron Evens, Tom Feiner, Sandy Washington, Mary Lee Salzer-Lutz, Darrell Scott, and Allen Klippel.

Accommodation: The City of Kirkwood is interested in effective communication for all persons. Persons requiring an accommodation to attend and participate in the meeting should contact the City Clerk at 314-822-5802 at least 48 hours before the meeting. With advance notice of seven calendar days, the City of Kirkwood will provide interpreter services at public meetings for languages other than English and for the hearing impaired. Upon request, the minutes from this meeting can be made available in an alternate format, such as CD by calling 314-822-5802.



**CITY OF KIRKWOOD
PLANNING AND ZONING COMMISSION
MEETING MINUTES
MAY 3, 2023**

PRESENT:

Jim Adkins, Chair
Tom Feiner, Vice Chair
David Eagleton, Secretary/Treasurer
Darrell Scott
Ron Evens
Allen Klippel

ABSENT:

James Diel
Sandy Washington
Mary Salzer-Lutz

Pursuant to notice of meeting duly given, the Planning and Zoning Commission convened on Wednesday, May 3 at 7:00 p.m. in the City Hall Council Chambers. Planning and Development Services Director Jonathan Raiche, Planner II Amy Lowry, and Permit Clerk Danielle Johnson also attended the meeting.

1. Chair Adkins called the meeting to order at 7 p.m. and announced that Commissioners Diel, Washington, and Salzer-Lutz were absent and their absences were excused.
2. Motion was made by Commissioner Evens and seconded by Commissioner Klippel to approve the minutes for the April 5 meeting as written. The minutes were approved by four of the members present with two abstentions by Commissioners Scott and Feiner.
3. **PZ-11-23– MIXED USE IN B-2 DEVELOPMENT PLAN – ART DISTRICT MIXED USE CONDOMINIUMS, 132 E. MONROE AVENUE.**

Planner II Amy Lowry provided the Commission with an update on the application after the Subcommittee review. The site is located at the southwest corner of Monroe and Taylor, across the street from the Kirkwood Performing Arts Center (KPAC). The site is zoned B-2, is approximately 1.5 acres, and consists of six lots that should be consolidated. The topography is challenging as it slopes upward from the east to west, with the parking lots to the west being a few feet higher in elevation than the Missouri Extension building. She stated that this would be a five-story building with underground parking and four floors of condominiums. The building area is 119,073 square feet, not including the parking garage, and the commercial area is 5,480 square feet in the northeast

corner of the building with 29 adjacent parking spaces accessed from South Taylor. There will be 84 parking spaces in the rear of the building, set aside for the residents. Most of the parking structure will be underground due to the topography of the site. The dumpster area will be accessed from a drive from South Taylor. There will be 10 bike racks in front of the building on South Taylor. The proposed 27 x 135-foot plaza will complement the plaza across the street at the KPAC. Ms. Lowry stated that the landscape area along Monroe needs to be expanded to 7 feet and the sidewalks on both streets need to be expanded to 5 feet.

The floor was then opened to the Commission for questions. Commissioner Evens inquired about relocation or replacement of the Arbor Day trees. Mr. Raiche answered that due to the rather small area on site, the arborist felt it would be best that the trees be replaced with new trees and not relocated. This detail has not been finalized. In response to Commissioner Klippel's question, Ms. Lowry said that there are no major issues that in the opinion of Staff could not be addressed by the applicant before City Council review. Commissioner Evens questioned whether the proposed lighting poles would be equipped to hang banners. Ms. Lowry confirmed that they would.

Commissioner Feiner stated that he wants to ensure that the public easement is meaningful and that the "mixed use" indeed stays "mixed use." He also stated his discomfort with the recommendation of the proposed zoning code text amendment on the active commercial use. Because of the requirement of active commercial use on both streets, Staff recommended the text amendment to the Subcommittee. Mr. Raiche stated that without the text amendment, the project would not meet the code because there is parking on the Taylor frontage that is not behind a required active commercial use. Mr. Raiche said that if the majority of the Commission is in agreement with Commissioner Feiner, the case should be continued and revised to meet the code. Staff believes that there are going to be situations based on the shape or length of lots, especially corner lots, in which an active commercial use for the entire frontage may not be practical in coordination with parking entrances and garages. Staff did not want to dictate the level of specificity, but rather give the Commission and City Council discretion to determine how much parking would be allowed and still have a minimum impact on the street frontage that is required. Mr. Raiche added that while the plaza is not considered as an active commercial use, in Staff's opinion it is still a beneficial piece of the project.

Architect Tyler Stephens of Core10 Architecture addressed the Commission and encouraged them to review the 3-D model he brought of the proposed building and the buildings in the immediate area. He referred to the KPAC construction as part of the Downtown Plan and affirmed the developer's intention to continue the downtown character. He stated that the southern edge of the proposed plaza would line up with the KPAC south plaza wall. He also announced that the project name is "Aria". Mr. Stephens reviewed changes to the plans since the Subcommittee review, including turning the restaurant space ninety degrees to face the entrance of the KPAC, changing the initially proposed two towers of

condos to one, adding undulation to the building façade, and setting the plaza space at 27 x 135 feet. He addressed the request for modifications (1) on the landscaping for the rear drive aisle by stating that the developer and architects believe the green space is more valuable in the front of the building, and (2) on the street frontage occupation by the referring to the public good the plaza will create. With regard to the active commercial requirement on South Taylor Avenue, he stated that the restaurant would need to be eliminated if the retail would be required to be wrapped around the corner. He also stated that after hearing the comments of concern about whether or not the proposed plans and agreements would be followed, if the developer says that something is going to be there, it will be there.

Commissioner Feiner asked whether the applicant would commit to a minimum area for the public easement portion of the plaza. The Commission discussed that the end of the plaza would be near the end of proposed planter wall and that the A101 Site Plan has an approximate location.

Commissioner Klippel read the Subcommittee report.

[INSERT REPORT]

Motion to approve PZ-11-23 Mixed Use in B-2 Development Plan, 132 E. Monroe Avenue, subject to conditions contained in the Subcommittee report was made by Commissioner Evens and seconded by Commissioner Feiner. Mr. Raiche said that due to the fact that only 6 of the 9 commissioners were in attendance, five affirmative votes are necessary for approval and the Commissioners should indicate in the discussion if they will vote “not in favor” of the project. He stated that if the Commission is not comfortable with approving the project, it should be continued to the next meeting when more Commissioners will be in attendance. He added that a negative text amendment recommendation requires a 2/3 majority vote of the City Council.

Chair Adkins opened up the floor to discussion. Commissioner Scott said that no one has stated that they are not in favor of the project itself and everyone has the utmost respect for Staff. Commissioner Eagleton thanked Staff for their work and applauded the developer for the plans. Commissioner Feiner stated that he is uncomfortable with the code text change and will vote against the project if the amendment stays in the Subcommittee report, but would like to offer two amendments. No other Commissioners indicated they would vote against the project.

Motion to amend the Subcommittee report was made by Commissioner Feiner and seconded by Commissioner Evens to add to the end of condition 7 the following language: “, provided that in any event the public easement area shall be substantially as shown on sheet A101 titled Garage Level Site Plan submitted by Core10 Architecture and dated March 8, 2023.” After brief discussion, Chair

Adkins called for the vote on the motion and it was approved by a vote of 5 to 1, with Commissioner Scott opposed.

Motion to amend the Subcommittee report was made by Commissioner Feiner and seconded by Commissioner Scott, to add a new condition 12 as follows: "The development as constructed shall contain no less than 5400 square feet of commercial space." After brief discussion with regard to previous projects decreasing the commercial space from the development plan approval to the final site plan stage, Chair Adkins called for the vote on the motion and it failed by a vote of 3 to 3.

Chair Adkins called for a vote to approve PZ-11-23 Mixed Use in B-2 Development Plan, 132 E. Monroe Avenue subject to the conditions contained in the Subcommittee report, including the amendment to condition 7, and it was approved by a 5-1 vote, with Commissioner Feiner opposed.

4. COMMISSION/STAFF (INTERNAL) ITEMS

After discussion of a summer schedule that was followed in the past, and in anticipation of Commissioner absences and the proximity of July 4 to the scheduled meeting on July 5, Chair Adkins made a motion to amend the Commission meeting schedule to meet only the third Wednesday of the month in June, July and August. Commissioner Feiner seconded the motion and it passed 5-1, with Commissioner Evens opposed. Mr. Raiche stated that special meetings could be scheduled as necessary.

5. DEVELOPMENT PROJECT UPDATE

Mr. Raiche provided a summary of Council action that occurred since the last Commission meeting, including approval of the Zoning Code amendment for outdoor seating; the public hearing on the comprehensive marijuana dispensary facility held on April 20 and the second reading scheduled for May 4; and the consideration of the final site plan/final plat for the Woodland Knoll subdivision scheduled for May 4. He announced that the Audi project relocation would be by the end of the month, with construction to start thereafter. He said the City received construction plans for the day care center on Big Bend Road, Kennelwood had a grand opening, and Taco Buddha will get temporary occupancy soon.

There being no further business, motion was made by Commissioner Scott and seconded by Commissioner Evens to adjourn at 8:30 p.m. The next meeting will be held on May 17 at 7 p.m.

Jim Adkins, Chair

David Eagleton, Secretary/Treasurer

Upon request, these minutes can be made available within three working days in an alternate format, such as CD, by calling 314-822-5822. Minutes can also be downloaded from the City's website at www.kirkwoodmo.org, then click on City Clerk, Boards & Commissions, Planning & Zoning Commission.

DRAFT

MEMORANDUM



TO: PLANNING & ZONING COMMISSION
FROM: AMY LOWRY, CITY PLANNER II *AGL*
SUBJECT: 300 N. KIRKWOOD ROAD – KIRKWOOD APARTMENTS
DATE: MAY 17, 2023
CC: JONATHAN RAICHE, PLANNING & DEVELOPMENT SERVICES DIRECTOR
BILL BENSING, PUBLIC SERVICES DIRECTOR

PETITION NUMBER: PZ-01-24

ACTION REQUESTED: B-2, MIXED-USE DEVELOPMENT PLAN REVIEW

PROPERTY OWNERS: 300 KIRKWOOD, LLC

APPLICANT: BRIAN MAENNER, INTRINSIC DEVELOPMENT

PROPERTY LOCATION: 300 N. KIRKWOOD ROAD

ZONING: B-2, CENTRAL BUSINESS DISTRICT

DOCUMENTS SUBMITTED: FINAL SITE PLAN (3 SHEETS: C1, C2 & C3) PREPARED BY STOCK & ASSOCIATES STAMPED "RECEIVED APRIL 28, 2023, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

SITE PHOTOMETRIC PLAN (2 SHEETS: SL1 & SL2) PREPARED BY J-SQUARED ENGINEERING STAMPED "RECEIVED APRIL 28, 2023, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

LANDSCAPE PLAN (3 SHEETS: L101, L201 & TS/TPP) PREPARED BY LOOMIS AND ASSOCIATES STAMPED "RECEIVED APRIL 28, 2023, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

DESCRIPTION OF PROJECT:

The petitioner, Brian Maenner of Intrinsic Development, is requesting Final Site Plan review of a B-2 Mixed Use development project at 300 N. Kirkwood Road in accordance with the procedure set forth in Section 25-19 of the City's Zoning Code. The development plan for the project was approved by City Council in Resolution 133-2022 dated October 20, 2022. The existing site is approximately 1.44 acres and previously occupied by a stand-alone building for Commerce Bank. A new Commerce Bank building has been built on the .74-acre lot immediately to the north. The proposed plan for this site includes demolition of the existing structure and construction of a 4-story, 94,051 square-foot, mixed-use building with 5,365 square feet of commercial space on the first floor along Kirkwood Road and 60 residential units on the top three floors. There will be structured and uncovered parking in the rear of the first floor. A swimming pool and amenities deck will be provided on the second level. The proposed plan includes one vehicular traffic access point on Adams Avenue with cross access to the Commerce Bank site to the north and to Washington Avenue.

DISCUSSION:

Zoning Matters signs were posted on the property on May 12, 2023. There has been no change to the footprint or area of the building and proposed commercial area. The applicant reports the following changes from the approved development plan documents:

- The development has 109 spaces (one space was lost due to an addition of a pool equipment enclosure on the parking structure level); 108 spaces are required, including five accessible spaces.
- Utility location changes include the addition of an electric transformer at the southeast corner of the building, an outside mounted electric meter bank along the east face of building, water meter pit, and more fire hydrants on site as well as the removal of an electric room and access door along the north face of building. The additional transformer is related to the developer’s accommodation of the burial of overhead lines underground along Adams Avenue.
- The applicant has coordinated with Commerce Bank on the development and north connection sidewalk.
- The Architectural Review Board has approved the building design.

The landscape plan is slightly changed with one canopy tree omitted on the north side of the property, but with six canopy and five understory trees to remain there; no trees are required on the north, but Staff believes the additional proposed trees are appropriate and encourages their retention. An irrigation plan was provided with the updated landscape plan. The lighting plan still complies with the lighting regulations.

RECOMMENDATION:

The final site plan shall be considered in accordance with Site Plan Review procedure under Section 25-19; however, a public hearing is not required when said plan is consistent with the approved development plan. Due to the fact that little has changed from the approved development plan and Staff believes the review criteria set forth in Section 25-19(h) have been met, Staff is requesting action from the Planning & Zoning Commission at the May 17, 2023 meeting rather than the formation of a subcommittee.

Staff recommends this petition be **approved** in accordance with Resolution 133-2022 (attached hereto), and with the following conditions and the standard conditions contained in Exhibit A:

1. The mixed use project shall be constructed and maintained in accordance with the plans referenced in the Documents Submitted portion of this memorandum, except as noted herein.
2. Based on the desire of the City to continue the same treatment approved by City Council for the Commerce Bank site that provides better pedestrian access, a modification under Section 25-19(g) to the required Type C buffer in Section 25-60(b)(3) shall be approved to provide a 5’-wide sidewalk and an 8-foot high, black vinyl-coated chain link fence on the eastern property line with low-lying vegetation to be planted between the fence and the sidewalk.
3. A recorded cross-access easement for both vehicular and pedestrian access shall be required along the proposed eastern drive and the buffer area that will accommodate the requested sidewalk in this area to provide access across the site and toward Washington Avenue.
4. Tree protection fencing shall be installed and maintained in accordance with the Tree Study as designated on the Landscape Plan. Failure to maintain the tree-protection fencing during

the demolition and construction activities shall authorize the Public Services Department to issue a stop work order for the grading, foundation, or building permit until the fencing is restored.

5. The applicant shall complete and submit the Complete Streets Checklist with the before City Council approval.
6. The existing driveway entrance shall be removed and a new entrance into the development shall be constructed as directed by St. Louis County and the City, and the new entrance shall be constructed per St. Louis County specifications.

EXHIBIT A
STANDARD CONDITIONS

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of final development plan approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services.
2. All proposed public sidewalks shall be constructed so that they are compliant with ADA/PROWAG and shall be exposed aggregate material. Public sidewalks and/or curbs shall be reconstructed at the developer's expense at the direction of the Public Services Department.
3. Storm water management plans for the proposed site plan shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.
4. Sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
5. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the applicant shall install the necessary mains and accessories.
6. If applicable, proper ground disturbance permits through MDNR shall be obtained prior to issuance of permits from the City.
7. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
8. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of a building permit. These devices shall be maintained during the construction activities.
9. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
10. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
11. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
12. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
13. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.



APPLICATION FOR PLANNING AND ZONING REVIEW

DATE: 04/28/2023 CASE NUMBER: 22-1-24
ZONING DISTRICT: B-2 LOCATOR NUMBER: 23M142738
PROJECT ADDRESS: 300 N. Kirkwood Rd.
PROJECT NAME: Kirkwood Apartments

ACTION REQUESTED

- X CUP, Development Plan or Final Site Plan (circle one)
Development Plan, B4, B5, or R6 (circle one)
Final Site Plan, B4, B5, or R6 (circle one)
Site Plan Review, Minor or Major (circle one)
Site Plan Modification
Alternative Equivalency
Special Use Permit, Category:
Subdivision, Major
Subdivision Modification
Text Amendment
Vacation, Right-of-Way or Easement (circle one)
Zoning Map Amendment, From to
Comments:

PETITIONER INFORMATION

I (We) hereby certify that I (we) have legal interest in the hereinabove described property and that all information given herein is true and a statement of fact
Name (Print): Brian Maenner Signature: Phone No.: 573-881-0280
Mailing Address: 3622 Endeavor Ave., Ste 101 City: Columbia State: MO Zip: 65201
E-mail Address: bpmaenner@intrinsicdevelopment.com
Petitioner's Status: Corporation Partnership Individual
Relationship of Petitioner to Property: Owner Tenant Option Holder (Attach Copy of Contract) Other

AGENT INFORMATION

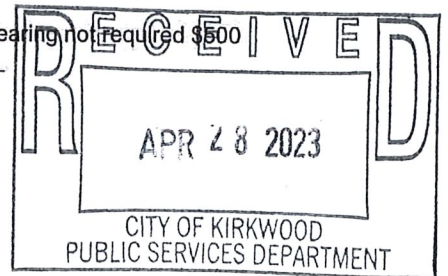
Agent's Name: George M. Stock, P.E. Signature: Phone No.: 636-530-9100
Mailing Address: 257 Chesterfield Business Pkwy City: St. Louis State: MO Zip: 63005
E-mail Address: george.stock@stockassoc.com
(NOTE: The petitioner's agent, if listed, shall receive all official communication)

PROPERTY OWNERS

Signature required or submit proof petitioner has legal interest in property.
Name: 300 Kirkwood, LLC Name:
Signature: Signature:
Address: 3622 Endeavor Ave., Ste 101 Address:
City/State/Zip: Columbia, MO 65201 City/State/Zip:
Phone: 573-881-0280 Phone:

FOR CITY USE ONLY

- Date Received: 4/28/23 Total Received: \$ 500 Agenda Date: 5/17/23
B-4/B-5 Development Plan: \$1,000 + Acres @ \$25/Acre or portion over one acre) = \$
B-4/B-5 Final Site Plan: \$1,000
B-4/B-5 Final Site Plan Amendment (when public hearing is not required): \$500
CUP (Single family), Dev Plan/Preliminary Plat: \$1,000 + Lots @ \$500/Lot = \$
CUP (Single family), Final Site Plan/Final Plat: Lots @ \$100/Lot = \$ + 1-1/4% of \$ = \$
CUP, (Multi family), Development Plan/Prel. Plat: \$1,000 + Dwelling units @ \$20/Each = \$
CUP, (Multi family), Final Site Plan/Final Plat: \$500 + 1-1/4% of = \$
CUP, Final Site Plan/Final Plat Amendment: Public Hearing required \$800, Public Hearing not required \$500
CUP, Final Site Plan Time Extension: \$300
Mixed Use in B2 Development Plan: \$1,000 (includes SPR fee) + \$25/acre or portion over one acre
Mixed use in B2 Final Site Plan: \$500
Mixed use in B2 Final Site Plan Amendment: Public Hearing required \$800, Public Hearing not required \$500
R6 Development Plan: \$1,000 + Dwelling units @ \$20/Unit = \$
R6 Final Site Plan: \$500
Sidewalk Waiver on feet @ \$30/Foot = \$ = \$
Site Plan Review (Major): \$1,000
Site Plan Review (Major): Amendment \$800 or Extension: \$300
Site Plan Review (Minor): \$500
Site Plan Review (Minor) Amendment \$500 or Extension: \$300
Special Use Permit: \$1,000 (waived if submitted with Site Plan Review)
Special Use Permit Amendment: \$800 (waived if submitted with Site Plan Review)
Subdivision (Major), Preliminary Plat Lots @ \$500/Lot = \$
Subdivision (Major), Final Plat/Improvement Plans: Lots @ \$100/Lot + 1.25% of \$ = \$
Subdivision (Major) Amendment to Final Plat or Improvement Plans: \$200
Vacation, Easement: \$100
Vacation, Right-of-way: \$200
Zoning Code Text Amendment: \$1,000
Zoning Map Amendment: \$1,000



SUBCOMMITTEE ()

STOCK & ASSOCIATES

Consulting Engineers, Inc.

April 28, 2023

Mr. Jonathan Raiche
Planning & Development Services Director
City of Kirkwood

Re: Kirkwood Apartments
300 N. Kirkwood Road

Dear Mr. Raiche:

The enclosed Final Site Plan includes the following items that have been added or revised from the original approved Development Plan from October, 2022.

- The development has 109 spaces (one space was lost due to an addition of an enclosed pool equipment enclosure on the parking surface level.
- An additional Electric transformer location at the southeast corner of the building
- Outside mounted electric meter bank along the east face of building.
- Coordination with the city's Electric Department on removal of utility poles along Adam's and the addition of a new electric duct bank.
- Water meter pit and additional fire hydrants added to the site.
- Coordination between Commerce Bank and development on sidewalk on north connection.
- Removal of electric room and access door along north face of building.
- Architectural Review Board approval.



STOCK & ASSOCIATES

Consulting Engineers, Inc.

April 28, 2023

Mr. Jonathan Raiche
 Planning & Development Services Director
 City of Kirkwood

Re: Kirkwood Apartments
 300 N. Kirkwood Road



Dear Mr. Raiche:

The following is a parking analysis for the development of a 4 story, approximately 119,000 sf mixed use/market rate apartment building, first floor consists of approximately 5,365 sf of commercial office/retail/restaurant and fitness and the upper floors consist of 20 apartment units per floor, for a total of 60 apartment units.

A total of 109 parking spaces are proposed for the site, not including any local on-street parking provided on East Washington Ave. The residential units are parked per code using 1.5 spaces per unit, while the restaurant is parked at 1 space per 100 s.f., the office space shall be parked at 1 space per 400 s.f. and the remaining tenant retail space parked at 1 space per 350 s.f.. For the office, restaurant, and retail spaces there will be an allowance up to fifteen (15) percent of the gross square footage area to be restrooms, janitor and/or storage closet space, space that is not counted towards the parking requirements.

Code Parking Calculations:

Residential		
60 Units	1.5 Spaces/Unit	= 86 Spaces (5% reduction)
	<u>Gross S.F.</u>	<u>Net S.F.</u>
Restaurant	1,996 s.f.	1,700 s.f./100 s.f.
		= 17 Spaces
Retail	2,058 s.f.	1,750 s.f./350 s.f.
		= 5 Spaces
Office	1,311 s.f.	1,246 s.f./400 s.f.
		= 3 Spaces
Total Required		= 111 Spaces

The required number of on-site parking spaces based on the City of Kirkwood code for the mixed-use development for this development by using the Shared Parking table 65-4 of the Kirkwood code is as follows.

Table 65-4 Shared Parking Table													
Use Utilizing Shared Parking	Req. Parking / Min. Standard	Mon - Fri 8am-6pm		Mon - Fri 6pm-12am		Mon - Fri 12am-8am		Sat - Sun 8am-6pm		Sat - Sun 6pm-12am		Sat - Sun 12am-8am	
		Residential	86	60.0%	52	100%	86	100%	86	80.0%	69	100%	86
Hotel & Lodging	0	70.0%	0	100%	0	100%	0	70.0%	0	100%	0	100%	0
Commercial	<i>see below</i>												
Food Service	17	70.0%	12	100%	17	10.0%	2	70.0%	12	100%	17	20.0%	3
Office, Industrial	3	100%	3	20.0%	1	5%	0	5%	0	5%	0	5%	0
All Other	5	90.0%	5	80.0%	4	5%	0	100%	5	70.0%	4	5%	0
Recreation & Assembly	0	60.0%	0	100%	0	100%	0	80.0%	0	100%	0	100%	0
All Other	0	70.0%	0	100%	0	100%	0	70.0%	0	100%	0	100%	0
Total Req. Spaces	111		71		107.6		88.1		85.85		106.65		89.8

The above shows the maximum required number of spaces to be 108 Spaces during the days of Monday thru Friday between the hours of 6pm and 12am., adequately forecasting the parking conditions and meeting the proposed on-site parking spaces to be provided.



WHERE COMMUNITY AND SPIRIT MEET®

May 11, 2023

George Stock
Stock & Associates Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005

SENT VIA EMAIL: george.stock@stockassoc.com

SUBJECT: PZ-1-24; 300 N. Kirkwood Road – Kirkwood Apartments
B-2 Mixed Use Final Site Plan

Mr. Stock:

The City of Kirkwood Public Services Department is in receipt of your application for a B-2 Mixed Use Final Site Plan for the property known as 300 N. Kirkwood Road. This item will be placed on the Planning and Zoning Commission agenda for its **7:00 p.m. meeting Wednesday, May 17, 2023** at Kirkwood City Hall, 139 South Kirkwood Road. City Staff will make an introduction presentation regarding the request at this meeting. You, or your representative, should attend this meeting to present this item to the Commission and answer any questions the Commission members may have.

The Planning and Zoning Commission will review the application in accordance with the Zoning Code. The Public Services Department has the following initial comments concerning the application:

Advisory Comments

1. All light fixtures shall be installed in a downlight configuration.
2. Outdoor seating for the proposed restaurant greater than 12 seats will require a separate application and review by the Planning and Zoning Commission and City Council for a Special Use Permit that may result in additional restrictions for that specific use.
3. The parking analysis provided makes assumptions about the amount of square footage deducted for storage and other similar areas. Each tenant space will be evaluated at the time building permits are submitted for those specific spaces. While the proposed calculations with the referenced assumptions meet the code, approval of this plan does not guarantee parking will be met if the assumptions are not realized.

This is a preliminary review of the application. The Planning and Zoning Commission and various City departments will review the application in detail and provide further comments as necessary. This preliminary review is not an approval or acceptance of any part of the application submitted.

The applicant is further advised that it is the applicant's responsibility to follow the petition through the entire process and to satisfy all submittal requirements and deadlines. Also note, this application and review does not grant the applicant any special rights, privileges, or immunities, and that all provisions of the Kirkwood Code of Ordinances shall apply.

Sincerely,

CITY OF KIRKWOOD

A handwritten signature in blue ink, appearing to read "Amy Gillis Lowry", with a long, sweeping flourish extending to the right.

Amy Gillis Lowry, Planner II
314-822-5815
lowryag@kirkwoodmo.org

KIRKWOOD APARTMENTS

FINAL SITE PLAN
 A tract of land being Lot 1 of the Subdivision Plat "Kirkwood Mixed Use"
 as recorded in Plat Book 368 Page 538
 City of Kirkwood, St. Louis County, Missouri.



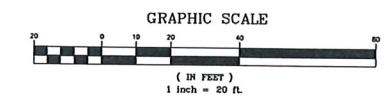
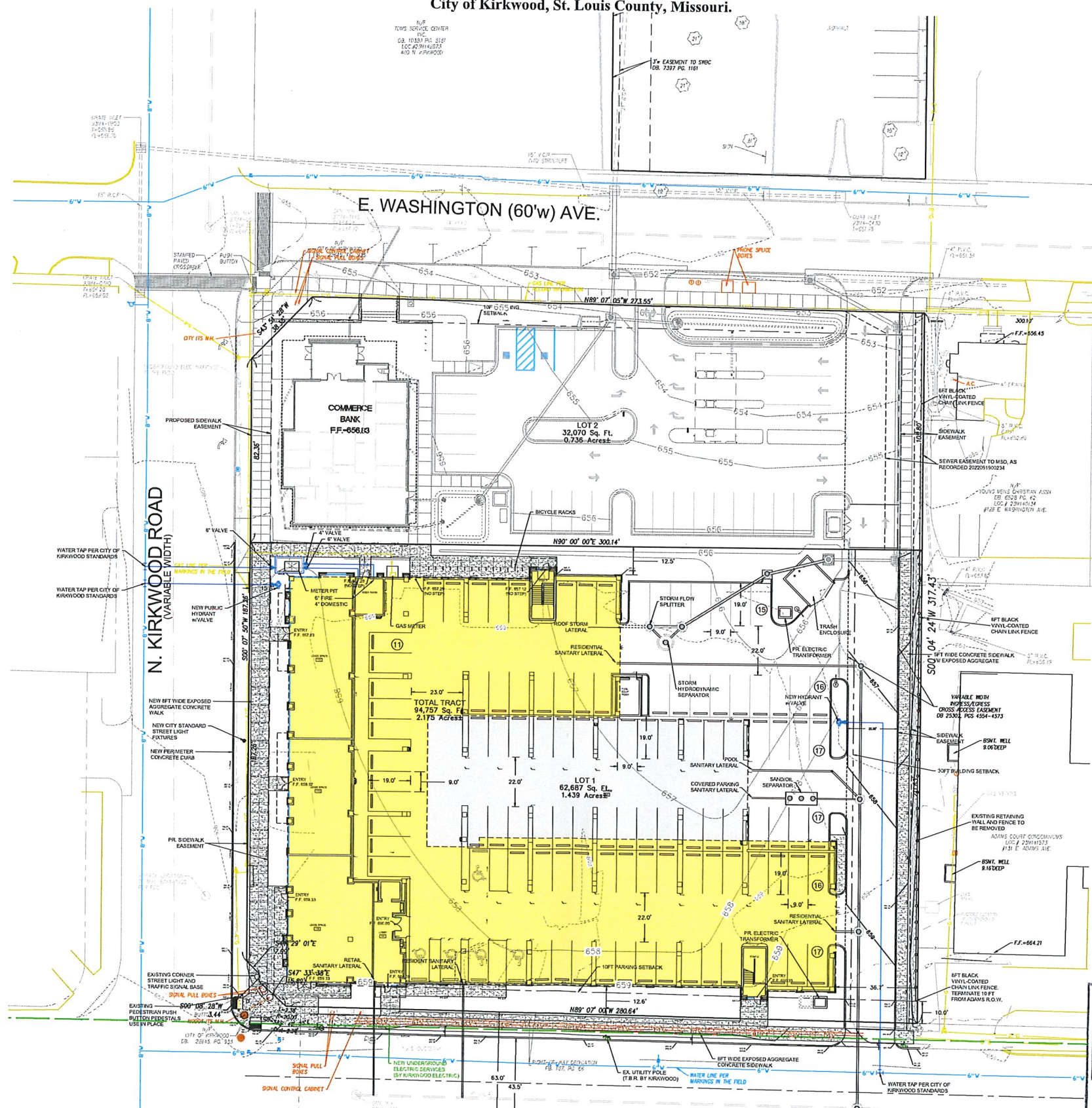
297 Chesterfield Business Parkway
 St. Louis, MO 63103
 Phone: (636) 947-9900
 Fax: (636) 947-9901
 E-mail: general@stockand.com
 Web: www.stockand.com

STOCK & ASSOCIATES
 Consulting Engineers, Inc.

ABBREVIATIONS

C.O.	- CLEAVOUT
DB	- DEEP BOOK
E	- ELECTRIC
FL	- FLOWLINE
FT	- FEET
IND.	- FOUND
G	- GAS
M.K.	- MANHOLE
M.P.	- MANHOLE OR FORMERLY
PC	- PLAT BOOK
PC	- PACE
P.V.C.	- POLYVINYL CHLORIDE PIPE
R.B.	- RADIAL BEARING
R.C.P.	- REINFORCED CONCRETE PIPE
S	- SQUARE
T.C.	- TELEPHONE CABLE
V.C.P.	- VITRIFIED CLAY PIPE
W	- WATER
W	- RIGHT-OF-WAY BOUND

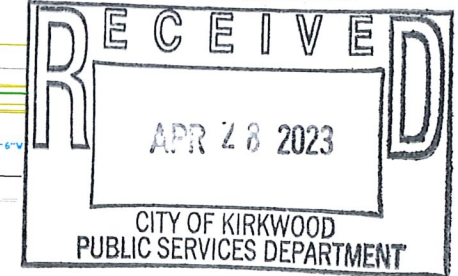
- NOTES:**
- EXISTING TOPOGRAPHY AND BOUNDARY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
 - SUBJECT PROPERTY LIES WITHIN ZONE "K" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AS INDICATED ON FLOOD MAPS 29189C000K, EFFECTIVE DATE OF AUGUST 2, 1995.
 - ALL EXISTING STRUCTURES AND PAVEMENTS THAT ARE TO BE REMOVED FROM THE SITE SHALL BE INDICATED ON CONSTRUCTION DOCUMENTS.
 - GRADING AND DRAINAGE PER CITY OF KIRKWOOD, ST. LOUIS CO. AND M.S.D. STANDARDS AND SPECIFICATIONS.
 - NO SLOPE SHALL EXCEED 3:1 FOR EARTH SLOPES. STEEPER SLOPES SHALL BE QUALIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 - TRASH ENCLOSURE SHALL BE CONSTRUCTED TO MATCH BUILDING MATERIAL.
 - STORMWATER MANAGEMENT AND EROSION CONTROL SHALL BE PER CITY OF KIRKWOOD, ST. LOUIS COUNTY AND MSD REQUIREMENTS.



SITE INFORMATION:

1	PERTINENT DATA:	
	SITE ACRES	= 1.439 AC. (LOT 1)
	OWNER	= 300 KIRKWOOD, LLC
	LOCATOR No.	= 23M142738
	EX ZONING	= "IS" GENERAL USE
	FIRE DISTRICT	= KIRKWOOD FIRE DISTRICT
	SCHOOL DISTRICT	= KIRKWOOD SCHOOL DISTRICT
	SEWER DISTRICT	= METROPOLITAN SEWER DISTRICT
	WATER SERVICE	= KIRKWOOD WATER
	GAS SERVICE	= SPIRE GAS
	ELECTRIC SERVICE	= KIRKWOOD ELECTRIC
	PHONE SERVICE	= AT&T
	STREET ADDRESS	= 300 N. KIRKWOOD RD.
	ZIP CODE	= 63122
	FIRM PANEL	= 29189C000K
2	SITE COVERAGE:	
	LOT	= 62,687 S.F.
	BUILDING	= 37,148 S.F. (59.25%)
	OPEN	= 12,738 S.F. (20.32%)
	TOTAL COVERAGE	= 49,886 S.F. (79.65%)
3	DEVELOPMENT SETBACKS:	
	KIRKWOOD ROAD	= 0 FT
	ADAMS AVE	= 0 FT
	SIDE YARD (EAST)	= 0 FT
	SIDE YARD (WEST)	= 0 FT
	ADJACENT	= 10 FT
	*SIDE YARD SETBACK IS BASED ON 50% OF PROPOSED BUILDING HEIGHT.	
	PROPOSED BUILDING HEIGHT	= 59'-2" (60')
4	F.A.R.:	
	BUILDING S.F.	= 37,148 S.F.
	LOT	= 62,687 S.F.
	F.A.R.	= 1.5 F.A.R.
5	PARKING SPACES PROVIDED	= 109 SPACES

Lot 1
 Part of a tract of land as conveyed to Clayton Financial Corporation by instrument recorded in Book 13559, Page 1069 of the St. Louis County Records, located in Block 11 of The Town (Now City) of Kirkwood, according to the plat thereof recorded in Plat Book 3, Page 57 of the St. Louis City, Missouri, (Formerly County) records being more particularly described as follows:
 Commencing at a found out cross, located at the northwest corner of a tract of land as conveyed to the Young Men's Christian Association by instrument recorded in Book 6528, Page 62 of the above said records, said point also being the northeast corner of above said Clayton Financial Corporation tract, thence along the common line thereof, South 00 degrees 04 minutes 24 seconds West, 105.80 feet to the POINT OF BEGINNING of the herein described Lot; thence continuing along the east line of said Clayton Financial Corporation tract, South 00 degrees 04 minutes 24 seconds West, 211.63 feet to a found iron pipe located at the southeast corner of said Clayton Financial Corporation tract, said point also being located on the north right-of-way line of Adams Avenue, 63 feet wide; thence along said right-of-way line the following courses and distances: North 89 degrees 07 minutes 00 seconds West, 280.64 feet to a point of curvature to the right having a radius of 20.00 feet, an arc length of 2.38 feet and a chord which bears North 85 degrees 42 minutes 25 seconds West, 2.38 feet; North 47 degrees 33 minutes 38 seconds West, 15.89 feet; North 00 degrees 08 minutes 28 seconds East, 3.44 feet and North 44 degrees 29 minutes 01 second West, 7.99 feet to the east right-of-way line of North Kirkwood Road, 72.5 feet wide; thence along said right-of-way line, North 00 degrees 07 minutes 50 seconds East, 187.26 feet; thence departing said right-of-way line, North 90 degrees 00 minutes 00 seconds East, 300.14 feet to the POINT OF BEGINNING.
 Containing 62,686.65 square feet or 1.4391 acres, more or less.



Kirkwood Apartments
 300 N. KIRKWOOD ROAD
 KIRKWOOD, MISSOURI 63122

REVISIONS:

DATE	BY	DESCRIPTION
04/28/2023	J.E.F.	ISSUED FOR PERMITS

PREPARED FOR:
 INTRINSIC DEVELOPMENT
 3522 ENDEAVOR AVE., SUITE 101
 COLUMBIA, MO. 65201
 C/O MR. BRIAN MAENNER

DATE: 04/28/2023
BY: J.E.F.
SCALE: AS SHOWN
SHEET NO.: C1.0

KIRKWOOD APARTMENTS

A tract of land being Lot 1 of the Subdivision Plat "Kirkwood Mixed Use" as recorded in Plat Book 368, Page 538
City of Kirkwood, St. Louis County, Missouri.

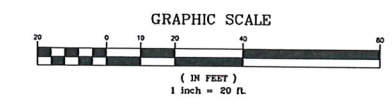
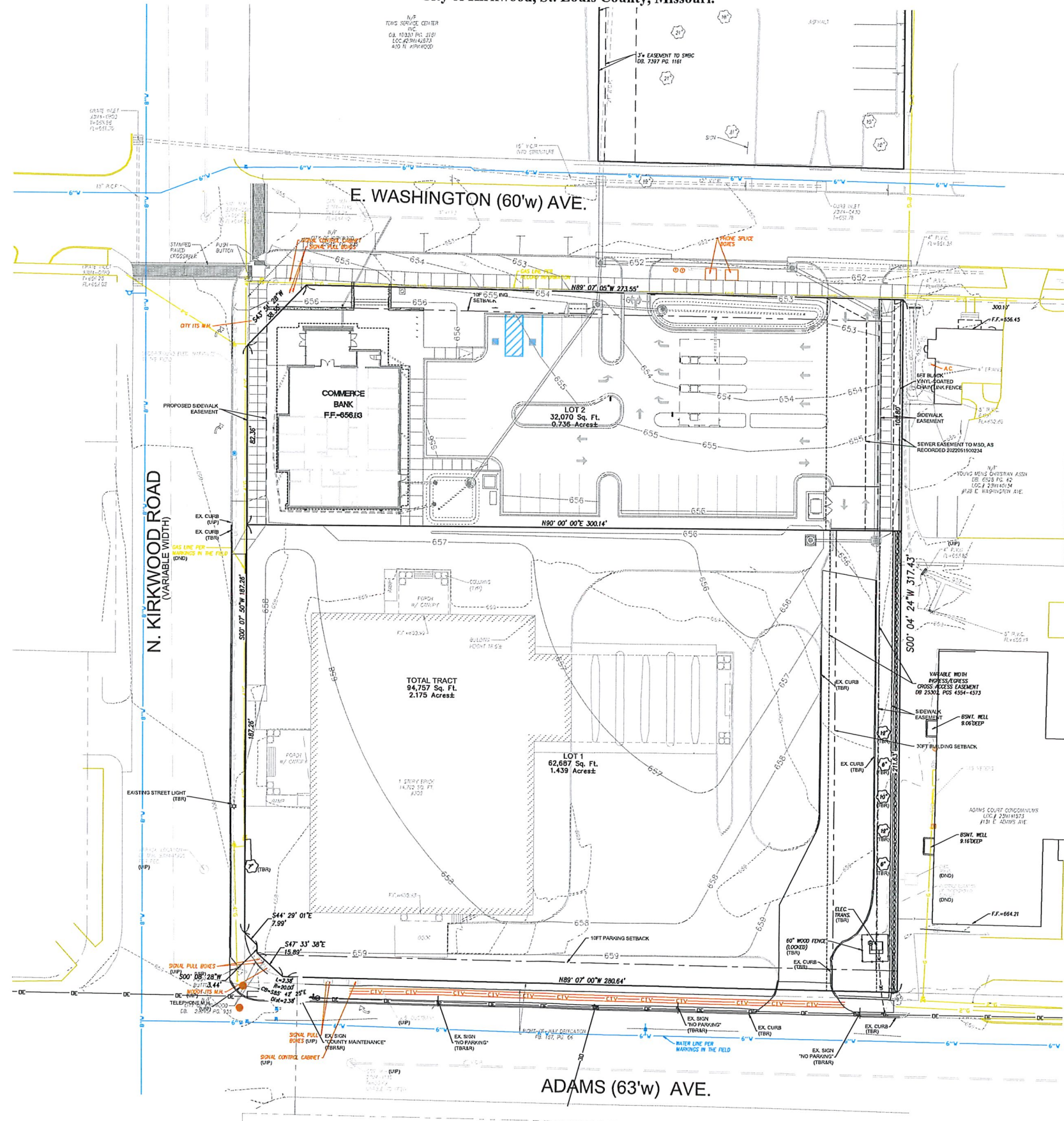


PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63103 PH: (636) 339-7400
FAX: (636) 339-7400
WWW: www.stockeng.com

ABBREVIATIONS

C.O.	CLEANOUT
D.B.	DEEP BOX
E.	ELECTRIC
F.L.	FLOORLINE
FT.	FEET
FND.	FUND
G.	GAS
M.A.	MANHOLE
M.F.	MANHOLE OR FORMERLY
M.F.B.	MANHOLE BOX
P.C.	PIPE COVER
P.V.C.	POLYVINYL CHLORIDE PIPE
R.B.	RAILROAD
R.C.P.	REINFORCED CONCRETE PIPE
S.	SEWER
S.C.	SOIL
T.C.	TELEPHONE CABLE
W.	WATER
W.P.	WATER PIPING
(60'W)	RIGHT-OF-WAY WIDTH

- NOTES:**
- EXISTING TOPOGRAPHY AND BOUNDARY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
 - SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AS INDICATED ON FLOOD MAPS 29185C0009A, EFFECTIVE DATE OF AUGUST 2, 1995.
 - ALL EXISTING STRUCTURES AND PAVEMENTS THAT ARE TO BE REMOVED FROM THE SITE SHALL BE INDICATED ON CONSTRUCTION DOCUMENTS.
 - GRADING AND DRAINAGE PER CITY OF KIRKWOOD, ST. LOUIS CO. AND M.S.D. STANDARDS AND SPECIFICATIONS.
 - NO SLOPE SHALL EXCEED 3:1 FOR EARTH SLOPES. STEEPER SLOPES SHALL BE QUALIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
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 - STORMWATER MANAGEMENT AND EROSION CONTROL SHALL BE PER CITY OF KIRKWOOD, ST. LOUIS COUNTY AND MSD REQUIREMENTS.



Kirkwood Apartments

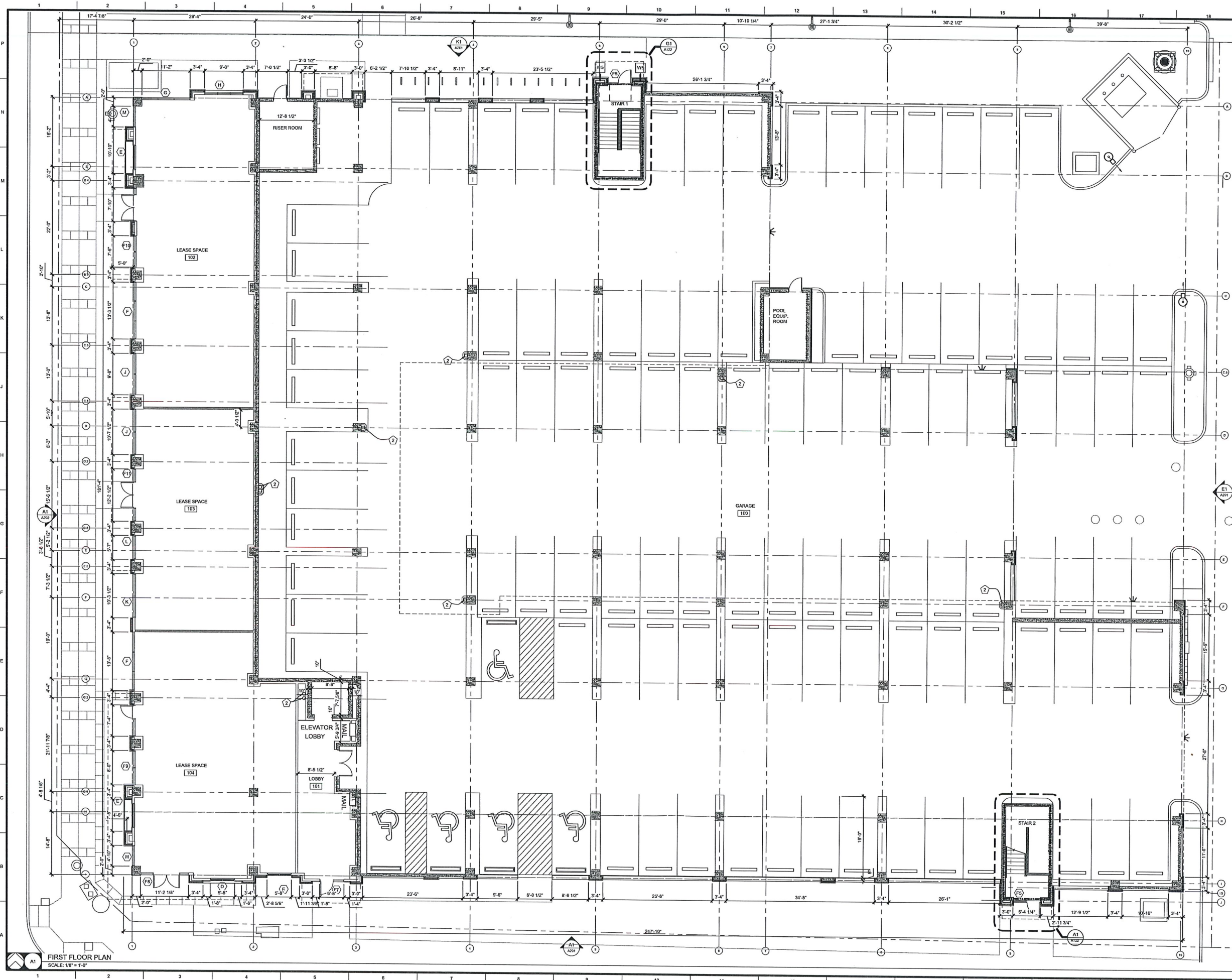
300 N. KIRKWOOD ROAD
KIRKWOOD, MISSOURI 63122

Lot 1
Part of a tract of land as conveyed to Clayton Financial Corporation by instrument recorded in Book 13559, Page 1069 of the St. Louis County Records, located in Book 6528, Page 62 of the above said records, said point also being the northeast corner of above said Clayton Financial Corporation tract, thence along the common line thereof, South 00 degrees 04 minutes 24 seconds West, 105.89 feet to the POINT OF BEGINNING of the herein described Lot; thence continuing along the east line of said Clayton Financial Corporation tract, South 00 degrees 04 minutes 24 seconds West, 211.63 feet to a found iron pipe located at the southeast corner of said Clayton Financial Corporation tract, said point also being located on the north right-of-way line of Adams Avenue, 63 feet wide; thence along said right-of-way line the following courses and distances: North 89 degrees 07 minutes 00 seconds West, 280.64 feet to a point of curvature to the right having a radius of 20.00 feet, an arc length of 2.38 feet and a chord which bears North 85 degrees 42 minutes 25 seconds West, 2.38 feet; North 47 degrees 33 minutes 38 seconds West, 15.89 feet; North 00 degrees 08 minutes 28 seconds East, 3.44 feet and North 44 degrees 29 minutes 01 second West, 7.99 feet to the east right-of-way line of North Kirkwood Road, 72.5 feet wide; thence along said right-of-way line, North 00 degrees 07 minutes 50 seconds East, 187.26 feet; thence departing said right-of-way line, North 90 degrees 00 minutes 00 seconds East, 300.14 feet to the POINT OF BEGINNING.
Containing 62,686.65 square feet or 1.4391 acres, more or less.

ST. LOUIS COUNTY BENCHMARK
BENCHMARK 1846
NAD83 Elev = 658.80 FTES
1" on the southeast corner of 3.5'x4.5' concrete base of flagpole north of the west entrance to Commerce Bank, addressed as 4200 North Kirkwood Road, roughly 37 feet east of the centerline of Kirkwood Road, 15 feet east of the east curb of Kirkwood Road, and 150 feet more or less north of the centerline of East Adams Avenue.

SITE BENCHMARK
ELEV=658.78
1" CUT ON CONC. PAD 18" S. FROM THE SOUTHERLY LINE OF E. WASHINGTON AVE. AND 7.5' E. OF N. KIRKWOOD ROAD AS SHOWN HEREON.

GEORGE H. STOCK CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER 02096	E-21114
REVISIONS:	
DATE: 04/29/2023	JOB NO: 2022-7174
WKS. # 7	BASE WKS. # 23-24
E.L.C. NET #	NAT. PAC. #
SHEET TITLE: SITE SURVEY	
SHEET NO.: C2.0	



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY ARCHITECT OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. VERIFY ALL ROUGH OPENINGS FOR DOORS, WINDOWS, EQUIPMENT, & OTHER "BUILT-IN" ITEMS PRIOR TO EXECUTION OF ANY WORK AFFECTED BY SAME.
3. LOCATE DOOR OPENINGS WHICH ARE NOT DIMENSIONED OTHERWISE, CENTERED IN WALL AND 4" FROM FINISH WALL TO FINISH JAMB.
4. COORDINATE ALL FLOOR DRAINS AND OTHER REFERENCED MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS W/ M.E.P.
5. COORDINATE ALL REQUIRED UTILITIES WITH EQUIPMENT MANUFACTURER.
6. ALL DIMENSIONS ARE TO FACE OF STUD - OR MASONRY - UNLESS OTHERWISE NOTED.
7. DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
8. COORDINATE HEIGHTS OF OUTLETS & SWITCHING WITH ALL ARCHITECTURAL ITEMS. SEE ME DRAWINGS FOR LOCATIONS.

PLANNING APPROVAL
(PRELIMINARY, NOT FOR CONSTRUCTION)



PWArchitects, Inc.
2120 Fenwick Blvd., Ste. 301
Columbia, Missouri 65203
PWArchitects.com | 573.449.2483
Member of the Architects in Architectural Corporation
Missouri State Certificate of Authority No. 000244

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KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

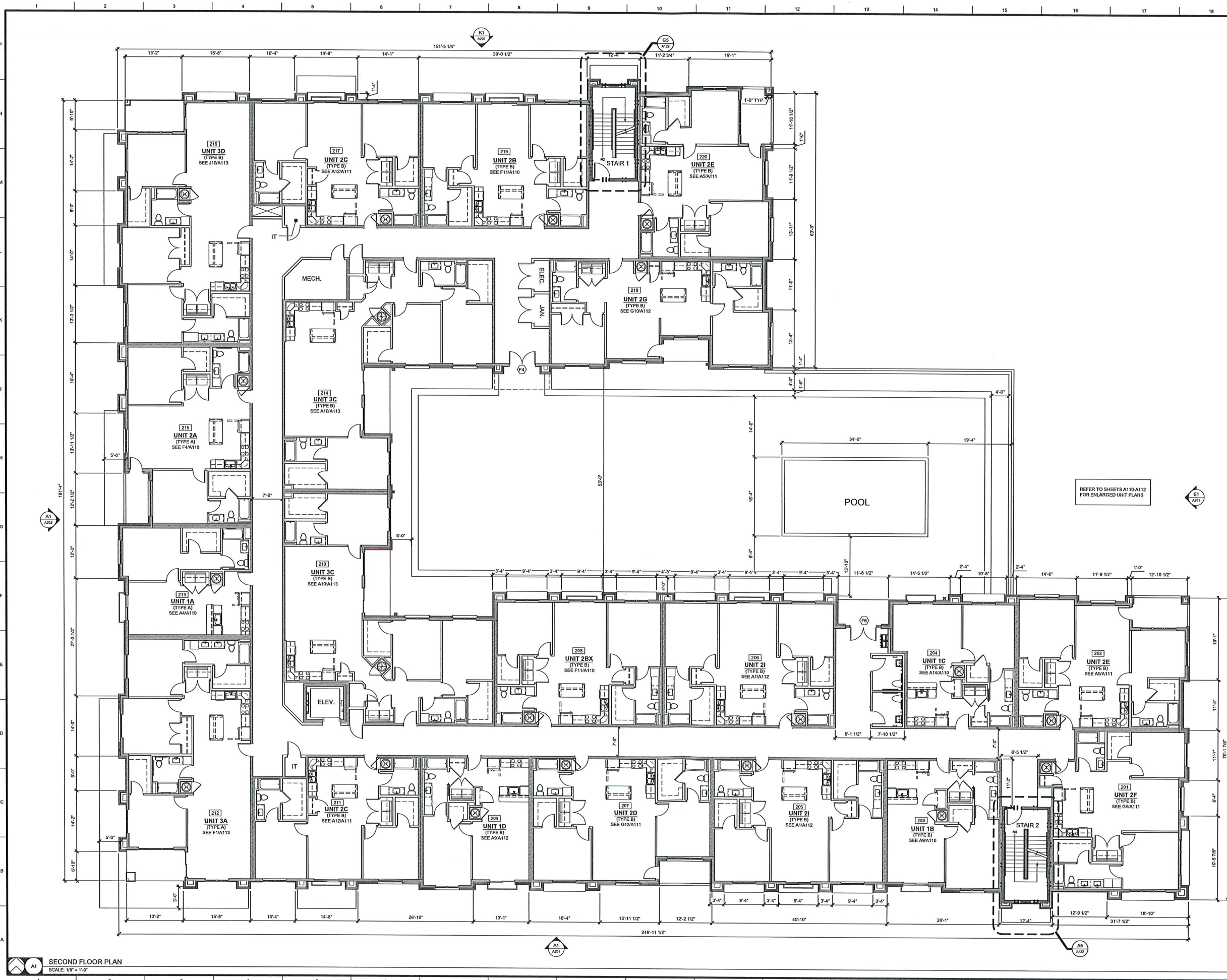
Owner:	Project Number:
HH / LC	202122
Checked:	CAD File Name (Number):
EM	202122_A101.DWG

FIRST FLOOR PLAN

No.	Revisions	Date

Submission Date: 04/19/2023
Drawing Number: **A101**
File Date: 04/26/2023

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY ARCHITECT OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN, FOR CLARIFICATION BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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8. COORDINATE HEIGHTS OF OUTLETS & SWITCHING WITH ALL ARCHITECTURAL ITEMS. SEE M/E DRAWINGS FOR LOCATIONS.

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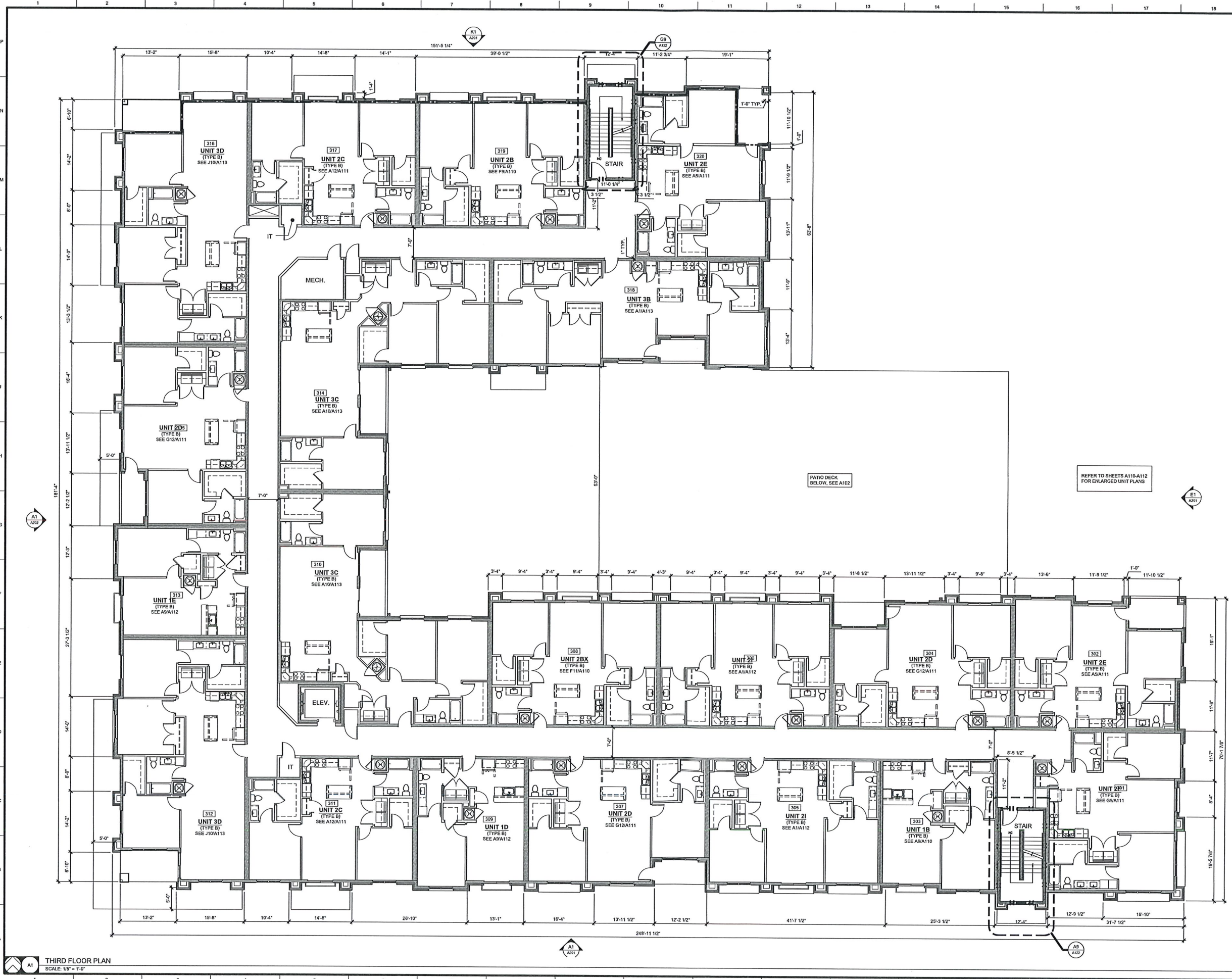
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KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

Drawn:	HH / LC	Project Number:	202122
Checked:	EM	CAD File Name (Number):	202122_A102.DWG
Drawing Title:	SECOND FLOOR PLAN		

No.	Revisions	Date

Submitted Date: 01/16/2023
 Drawing Number: **A102**
 Date: 04/20/2023



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY ARCHITECT OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN, FOR CLARIFICATION BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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PLANNING APPROVAL
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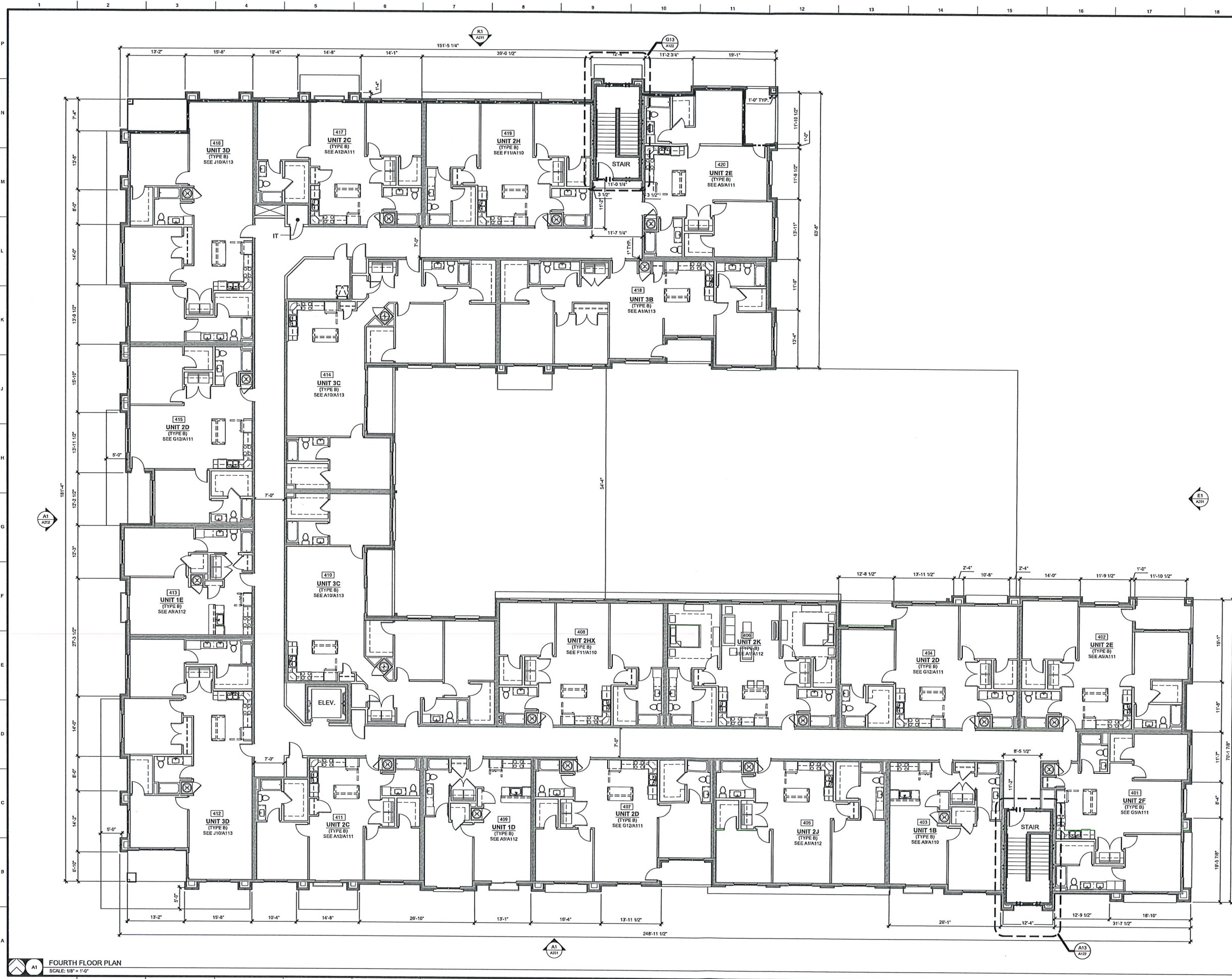
PWA Architects, Inc.
2120 Evans Blvd., Ste. 101
Columbia, Missouri 65203
Professional Seal No. 1573-649-2693
Professional Seal No. 1573-649-2693
Missouri State Certificate of Authority No. 000244

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KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

Drawn:	THOMAS	Project Number:	202122
Checked:	EM	CAD File Name (if any):	202122_A103.DWG
Design Title:	THIRD FLOOR PLAN		
No.	Revisions	Date	
Submission Date:	01/16/2023	Drawing Number:	A103
Plot Date:	04/20/2023		

THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY ARCHITECT OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN, FOR CLARIFICATION BY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

Drawn:	Project Number:
HH / LC	202122
Checked:	CAD File Name (Number):
EM	202122_A104.DWG
Drawing Title:	
FOURTH LEVEL FLOOR PLAN	

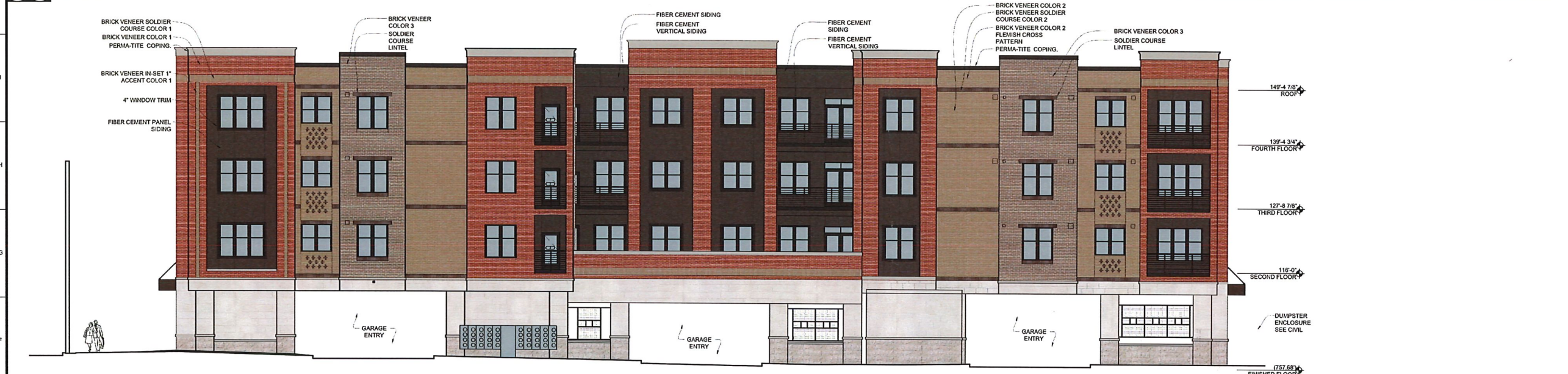
No.	Revisions	Date

Submittal Date: 04/19/2023
Drawing Number: **A104**
Plot Date: 04/20/2023



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

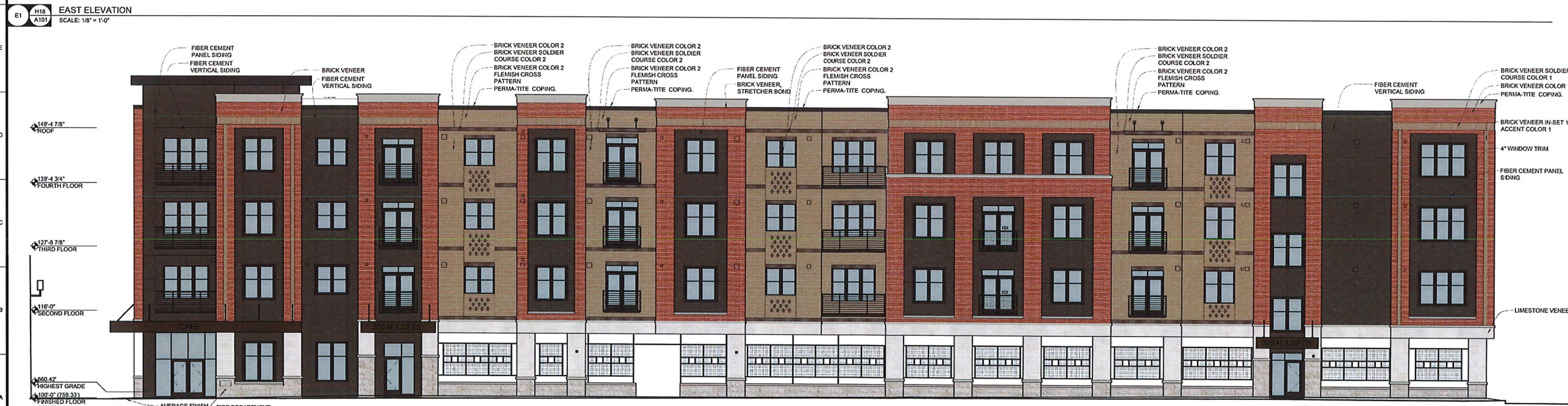
- GENERAL ELEVATION NOTES**
- SEE WALL SECTIONS FOR ADDITIONAL DETAILS, MATERIALS, NOTES, AND DIMENSIONS.
 - SEE SITE PLAN FOR EXACT FINISH GRADE ELEVATIONS.
 - SEE SITE PLAN FOR RETAINING WALLS, SIDEWALKS & SLABS. DETAILS, LOCATIONS AND DIMENSIONS.
 - SEE WALL SECTIONS FOR APPROPRIATE BRICK LEDGES. BRICK LEDGES TO BE BELOW FINAL GRADE. MAKE FIELD ADJUSTMENTS AS NECESSARY TO ACCOMPLISH THIS WITH FIELD CONDITIONS.



EAST ELEVATION
SCALE: 1/8" = 1'-0"

PLANNING APPROVAL
(PRELIMINARY, NOT FOR CONSTRUCTION)

PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 572.449.2883
Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

Drawn:	Project Number:	
HH	202122	
Checked:	CAD File Name (Number):	
EM	202122_A201.DWG	
Drawing Title:		
EXTERIOR ELEVATIONS		
No.	Revisions:	Date:

Submission Date: 04/19/2023
Plot Date: 04/27/2023
Drawing Number: **A201**



- GENERAL ELEVATION NOTES**
- SEE WALL SECTIONS FOR ADDITIONAL DETAILS, MATERIALS, NOTES, AND DIMENSIONS.
 - SEE SITE PLAN FOR EXACT FINISH GRADE ELEVATIONS.
 - SEE SITE PLAN FOR RETAINING WALLS, SIDEWALKS & SLABS, DETAILS, LOCATIONS AND DIMENSIONS.
 - SEE WALL SECTIONS FOR APPROPRIATE BRICK LEDGES. BRICK LEDGES TO BE BELOW FINAL GRADE. MAKE FIELD ADJUSTMENTS AS NECESSARY TO ACCOMPLISH THIS IN FIELD CONDITIONS.

K1 H7 A102 EAST ELEVATION
SCALE: 1/8" = 1'-0"

K7 J9 A102 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



F1 G10 A102 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 G1 A101 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PLANNING APPROVAL
(PRELIMINARY, NOT FOR CONSTRUCTION)

Pedham & Wright Architects, Inc., d.b.a. PWA
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWAarchitects.com | 572.449.2653
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Missouri State Certificate of Authority No. 000244

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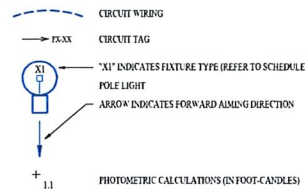
KIRKWOOD MO APARTMENTS
300 N. KIRKWOOD ROAD
CENTRAL STATES

Drawn:	Project Number:
HH	202122
Checked:	CAD File Name (Number):
EM	202122_A201.DWG
Drawing title:	
EXTERIOR ELEVATIONS	

No.	Revisions	Date:

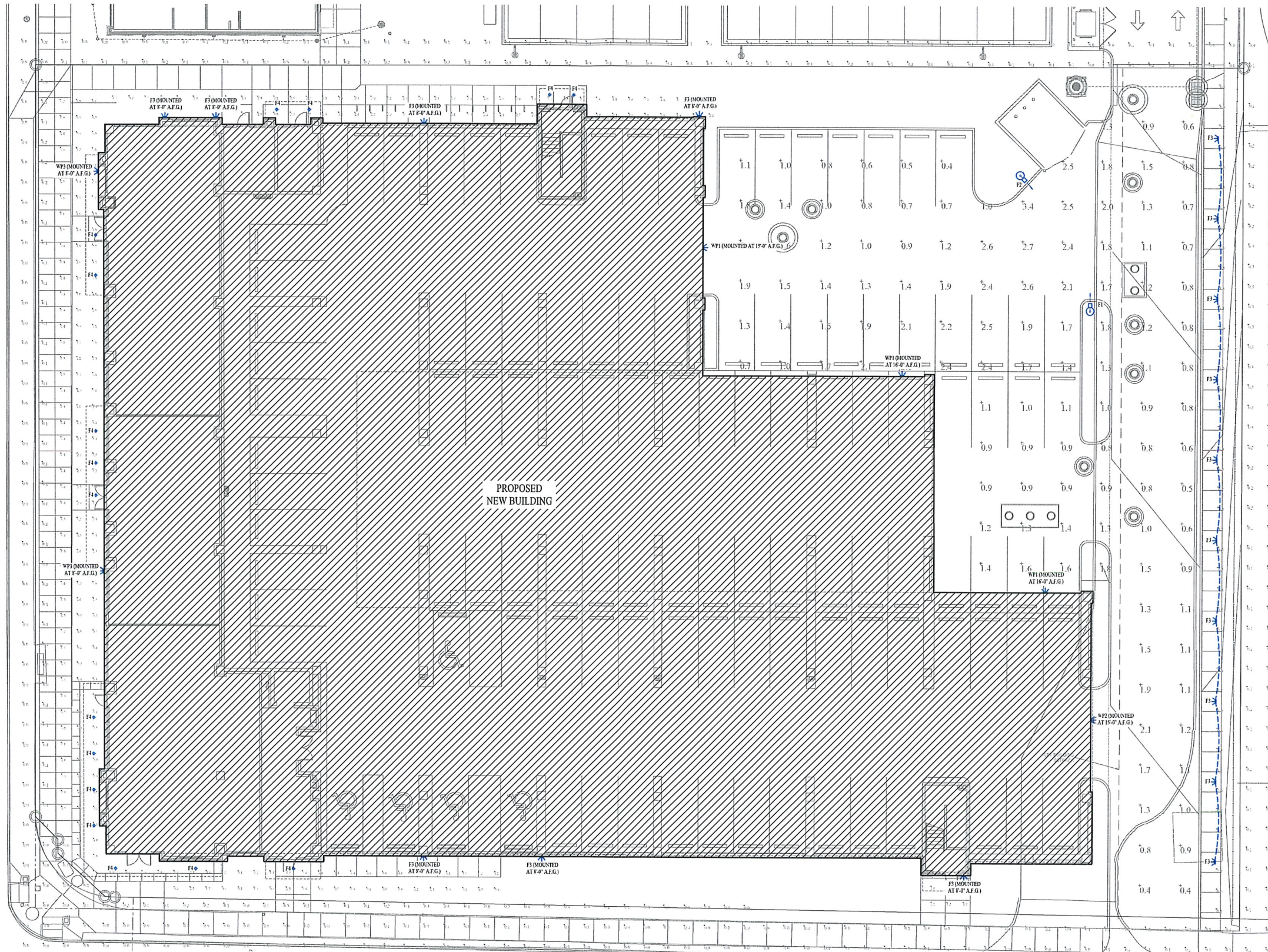
Submission Date: 04/19/2023
Plot Date: 04/27/2023
Drawing Number: **A202**

SITE LIGHTING PLAN SYMBOL LEGEND



LIGHTING PLAN GENERAL NOTES:

1. SITE PHOTOMETRIC VALUES SHOWN HAVE BEEN CALCULATED FOR SPECIFIED LIGHT FIXTURES AT INDICATED MOUNTING HEIGHTS. ANY CHANGES OR ALTERATIONS TO LIGHTING LAYOUT SHOWN WILL REQUIRE RECALCULATING SITE PHOTOMETRICS AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR (EQUIPMENT SUPPLIER).
2. PHOTOMETRIC CALCULATIONS SHOWN DO NOT INCLUDE EXISTING LIGHT FIXTURES, ONLY NEW POLE LIGHT FIXTURES SHOWN.



SITE UTILITIES PLAN
SCALE: 1"=10'

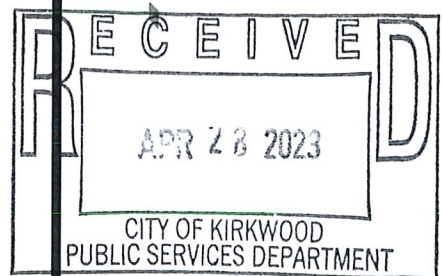


James Watson, P.E. April 28th, 2023
 PE-201501701
 240 Certificate of Authority # 2018029619


J-SQUARED ENGINEERING
 2403 Bluff Creek Drive, Suite 101
 Columbia, Missouri 65201
 313-234-4402 phone
 www.j-squaredeng.com

J2 PROJECT No.	420699
J2 DESIGN:	ACW
ISSUE TITLE	DATE
FINAL SITE PLAN	04-28-2023

Mechanical - Electrical - Plumbing Design Drawings for
Kirkwood Apartments
 300 North Kirkwood Rd.
 Kirkwood, MO



Project: _____ Catalog #: _____ Type: _____
Prepared by: _____ Notes _____ Date: _____



HALO Commercial HC4 | HM4 | 41/41PS

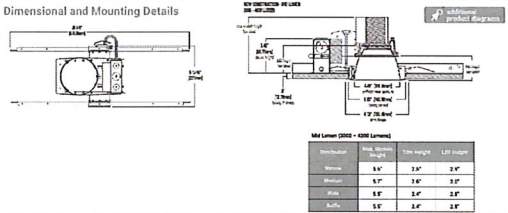
4-inch LED downlight and wall wash

Typical Applications
Office • Healthcare • Hospitality • Institutional • Mixed Use/Retail

Product Certification
ETL, IZ4, FCC, UL, CE, RoHS

Product Features
• Order Information page 1
• Product Specifications page 2
• Photometric Data page 3
• Energy & Performance Data page 4
• Connected Systems page 5
• Product Warranty

Top Product Features
• New construction/remodel series: 500 to 6,000 lumens
• Narrow, Medium and Wide distributions: Wall wash with rotatable linear spread lens
• 2700K, 3000K, 3500K, 4000K and 5000K CCT, 80 or 90 CRI
• Universal voltage 120V-277V, Standard 0-10V driver dims to 1%
• Mounting frame converts to remodel that installs from below the ceiling

Dimensional and Mounting Details


Model	Height	Depth	Min. Depth	Min. Depth
HC4	3.4"	3.4"	2.4"	2.4"
HM4	4.7"	3.4"	2.4"	2.4"
41	3.4"	3.4"	2.4"	2.4"
41PS	3.4"	3.4"	2.4"	2.4"

COOPER Lighting Solutions

SITE LIGHT FIXTURE SCHEDULE

TAG	MANUFACTURER (OR EQUAL)	MODEL NUMBER (OR EQUAL)	DESCRIPTION	MOUNTING	LUMEN OUTPUT	CCT (K)	CRI	VOLTS	WATTS	NOTES
F1	MCGRAW-EDISON	GA1N-SA1A-700-LS1-SQ	LED SITE LUMINAIRE	SQUARE STRAIGHT POLE	4,669	3000	70	120	34	MOUNTED AT 16'-0" A.F.C.
F2	MCGRAW-EDISON	GA1N-SA1A-700-LS1-S-FSS	LED SITE LUMINAIRE	SQUARE STRAIGHT POLE	4,444	3000	70	120	34	MOUNTED AT 16'-0" A.F.C.
F3	LIMMER	303-W1-LEDB1-3000-INV-T2-DM10-24	24" TALL LED WALL MOUNT	ADJUSTABLE MOUNTING BRACE	381	3000	80	120	9	
F4	HALO	HC4-4000-3500K-41-41PS	LED DOWNLIGHT	WALL MOUNT	1,000	4000	90	120	120	SURFACE MOUNT CANOPY
WP1	MCGRAW-EDISON	GA1N-SA1A-700-LS1-S-W	LED SITE LUMINAIRE	WALL MOUNT	4,471	3000	70	120	34	
WP2	MCGRAW-EDISON	GA1N-SA1A-700-LS1-S-W	LED SITE LUMINAIRE	WALL MOUNT	4,444	3000	70	120	34	
WP3	LIMMER	303-W1-LEDB1-3000-INV-T2-DM10	LED SITE LUMINAIRE	WALL MOUNT	535	3000	80	120	9	MOUNTED AT 8'-0" A.F.C.

NOTES:
1. VERIFY LIGHT FIXTURE FINISHES WITH OWNER / ARCHITECT PRIOR TO INSTALLATION

SIGHT LIGHTING CALCULATION SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/FT	MAX/FT
CITY SIDEWALK	ILLUMINANCE	Fc	1.98	8.70	0.10	19.80	87.00
FRONT SIDEWALK	ILLUMINANCE	Fc	2.12	3.40	0.70	3.63	4.86
SIDEWALK	ILLUMINANCE	Fc	3.09	8.10	0.20	11.45	40.50
SITE	ILLUMINANCE	Fc	1.34	3.40	0.40	3.35	8.50
SPILL LIGHT	ILLUMINANCE	Fc	0.09	0.50	0.00	N.A.	N.A.

Project: _____ Catalog #: _____ Type: _____
Prepared by: _____ Notes _____ Date: _____



Lumière EON 303-W1-LEDB1

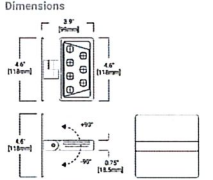
Ceiling / Wall Mount Direct / Indirect

Typical Applications
Hospitality • Commercial Landscape • Outdoor Areas • Residential • Architectural

Product Certification
ETL, IZ4, FCC, UL, CE, RoHS

Product Features
• Order Information page 1
• Product Specifications page 2
• Lumen Maintenance page 3
• Product Warranty

Top Product Features
• Adjustable direct or indirect luminaire - 180° Adjustable at knuckle
• 2700K, 3000K or 3500K or 4000K Color Temperature and Amber (585-595nm)
• Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens
• Patented AcuLED Optics™ System
• Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
• ELV or 0-10 Dimming

Dimensions


COOPER Lighting Solutions

Project: _____ Catalog #: _____ Type: _____
Prepared by: _____ Notes _____ Date: _____



McGraw-Edison GLEON Galleon

Area / Site Luminaire

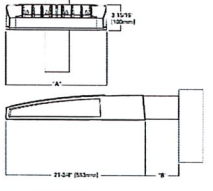
Typical Applications
Outdoor • Parking Lots • Walkways • Roadways • Building Area

Product Certifications
ETL, IZ4, FCC, UL, CE, RoHS

Product Features
• Order Information page 1
• Mounting Details page 2
• Optical Distribution page 3
• Product Specifications page 4
• Energy and Performance Data page 5
• Control Options page 6

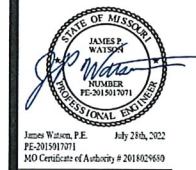
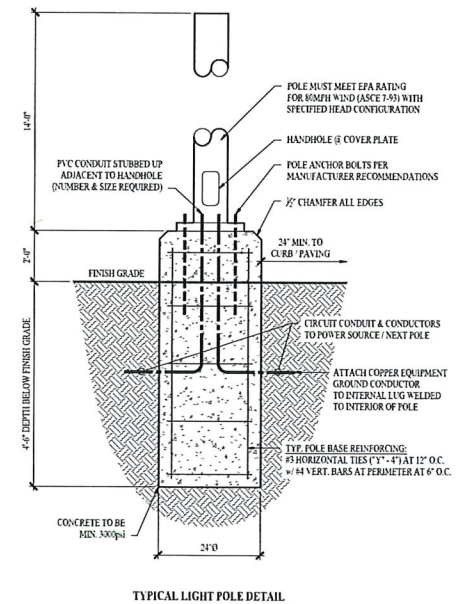
Quick Facts
• Lumen packages range from 4,200 - 80,800 (3AW - 640V)
• Efficacy up to 156 lumens per watt

Connected Systems
• WaveLux
• Enlighted

Dimensional Details


Number of Light Fixtures	Height	Depth	Width	Depth	Width	Depth	Width	Depth
1-4	161/2"	7"	18"	10 1/2"	16 1/2"	7"	18"	10 1/2"
5-6	21 1/2"	7"	18"	10 1/2"	16 1/2"	7"	18"	10 1/2"
7-8	27 1/2"	7"	18"	10 1/2"	16 1/2"	7"	18"	10 1/2"
9-10	33 1/2"	7"	18"	10 1/2"	16 1/2"	7"	18"	10 1/2"

COOPER Lighting Solutions



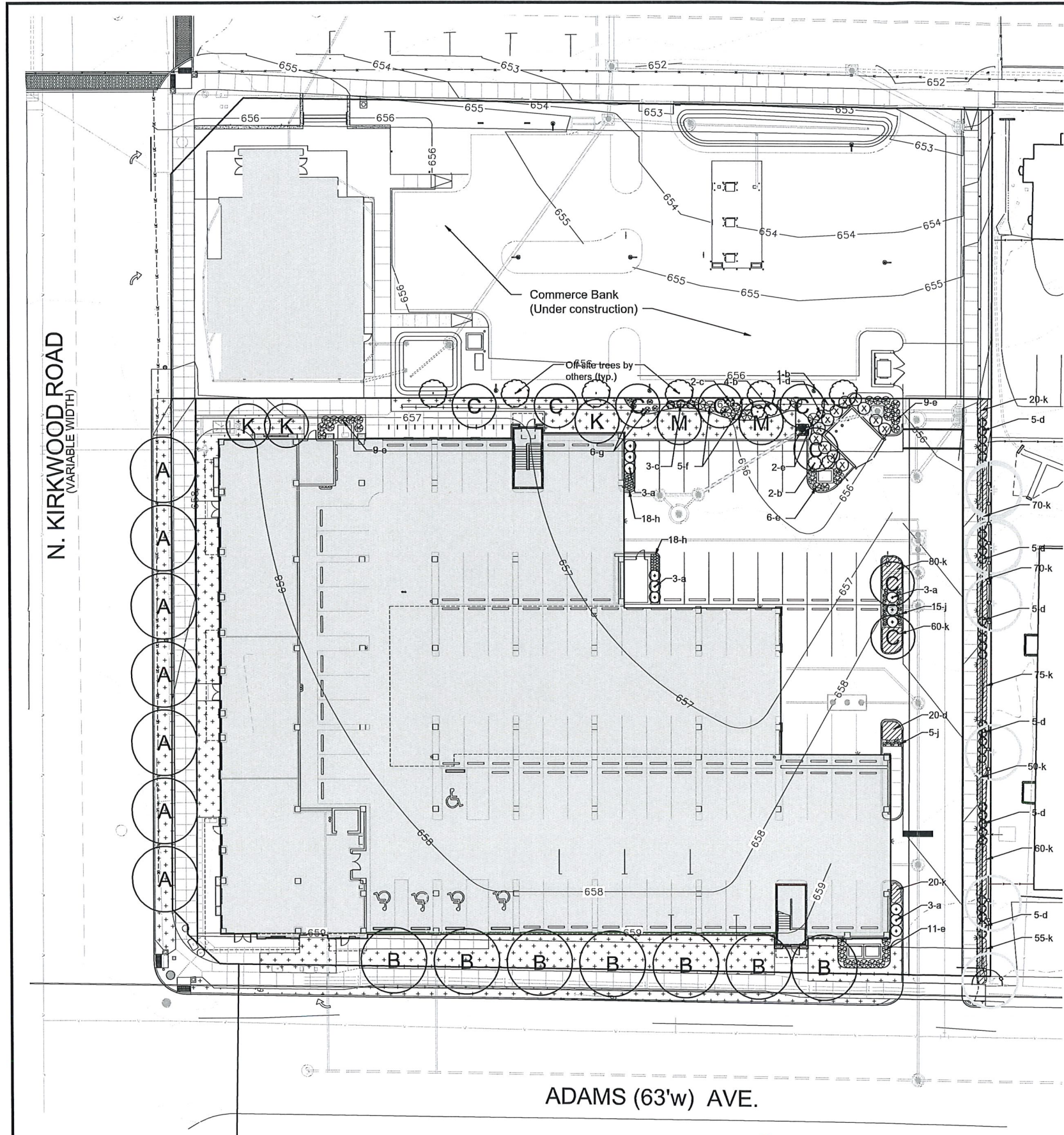
James P. Watson, P.E.
No. 291591071
July 28th, 2022
2016 Certificate of Authority # 2016029619

J-SQUARED ENGINEERING
2400 Bluff Creek Drive, Suite 101
Columbia, Missouri 65201
313-234-4402 phone
www.j-squaredeng.com

J2 PROJECT No: J20909
J2 DESIGN: JAP

ISSUE TITLE	DATE

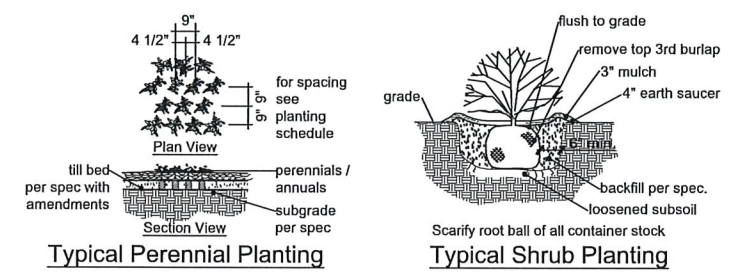
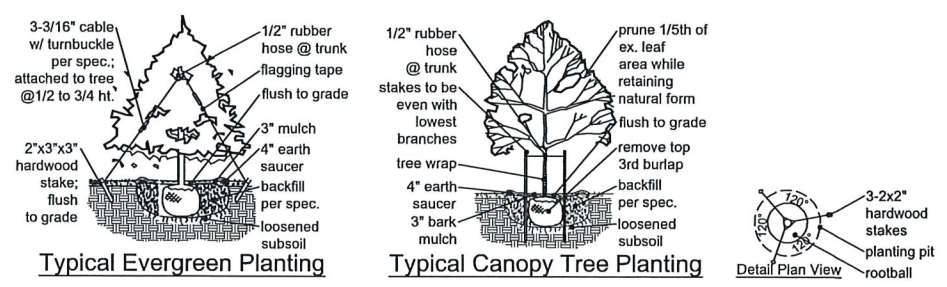
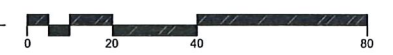
Mechanical - Electrical - Plumbing Design Drawings for
Kirkwood Apartments
300 N. Kirkwood Road
Kirkwood, St. Louis County, MO 63122



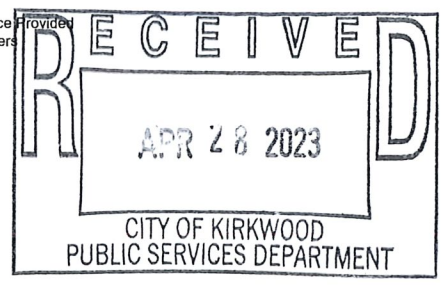
N. KIRKWOOD ROAD
(VARIABLE WIDTH)

ADAMS (63'w) AVE.

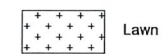
LANDSCAPE PLAN
SCALE 1"=20'



- Landscape Summary:**
- Street Trees:
 - Kirkwood Road Frontage: 6 Required 7 Provided
 - Adams Ave. Frontage: 7 Required, 7 Provided
 - Bufferyards:
 - North along new Bank: 8 Required, 10 Provided
 - Landscaped with Shrubs and Grasses
 - East Property Line: 6'h. Sightproof Fence Provided
 - Landscaped with Shrubs and Ground Covers
 - Trash Enclosure:
 - 12 upright Arborvitae provided
 - Parking Lot:
 - 3 Deciduous Canopy Trees provided.
 - Landscaped with shrubs and ground covers



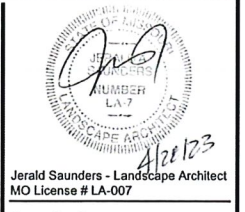
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CANOPY-SHADE TREES					
A	7	Ulmus parvifolia 'Emer II'	Allee Elm	2" cal.	B&B
B	7	Quercus x warei 'Long' Regal Prince	Regal Prince Oak	2" cal.	B&B
C	8	Liriodendron tulipifera 'Fastigiatum'	Columnar Tuliptree	2" cal.	B&B
EVERGREEN TREES					
X	12	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	8' h.	B&B
UNDERSTORY-ORNAMENTAL TREES					
K	3	Cornus kousa	Kousa Dogwood	1.5" cal.	B&B
M	2	Amelanchier canadensis	Serviceberry	1.5" cal.	B&B
SHRUBS-GRASSES-PERENNIALS-ANNUALS-GROUND COVER					
a	12	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	18" x 48" o.c.	
b	7	Syringa x 'SMSJBP7'	Boomerang Dark Purple Lilac	18" x 36" o.c.	
c	5	Weigela florida 'SMNWFMS'	Midnight Wine Shine	18" x 36" o.c.	
d	31	Aronia melanocarpa 'UCONNAM166'	Low Scape Hedge Chokeberry	18" x 36" o.c.	
e	35	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal. 24" o.c.	
f	5	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	3 gal. 24" o.c.	
g	6	Sporobolus heterolepis	Prairie Dropseed	1 gal. 24" o.c.	
h	36	Heuchera americana	Coral Bells	1 qt. 18" o.c.	
j	20	Hemerocallis Stella D'Oro	Stella D'Oro Daylily	1 qt. 18" o.c.	
k	580	Liriope muscari	Lilyturf	2" c.p. 12" o.c.	



- Landscape Notes:**
- Soil mix in all shrub beds at 8" depth.
 - Mulch to be double ground bark mulch.
 - Topsoil in all disturbed lawn areas at 6" depth.
 - All 3:1 or steeper slopes shall be seeded and have erosion control blanket. All other areas to be turf-type tall Fescue sod.
 - All areas to be irrigated with automatic underground irrigation system, zoned to water lawn area independent of shrub/ground cover areas. Refer to Watering Diagram on sheet L201.

Landscape Statistics

1) Total Lot Size:	62,683 s.f.
2) Total Building Area:	37,126 s.f.
3) Total Paved Area:	17,431 s.f.
4) Total Impervious Area:	54,557 s.f.
5) Total Pervious Area:	8,126 s.f.
6) Landscape Buffer Area:	1,017 s.f.
7) Parking & Trash Screening Landscape Area:	1,209 s.f.
8) Shrub and Ground Cover Area:	411 s.f.
9) Lawn Area:	7,253s.f.



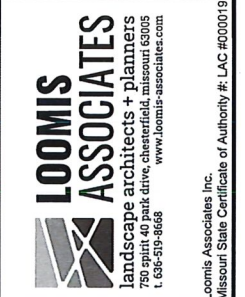
Consultants:

KIRKWOOD APARTMENTS
300 N. KIRKWOOD ROAD
KIRKWOOD, MISSOURI

Revisions:

Date	Description	No.
9/9/22	City Comments	1
4/28/23	Plan Changes	2

Drawn: LWH
Checked: JAS



Sheet Title:	LANDSCAPE PLAN
Sheet No.:	L101
Date:	9/2/22
Job #:	813.101

Loomis Associates, Inc. Missouri State Certificate of Authority #: LAC #000019



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

KIRKWOOD APARTMENTS

300 N. KIRKWOOD ROAD
KIRKWOOD, MISSOURI

Revisions:

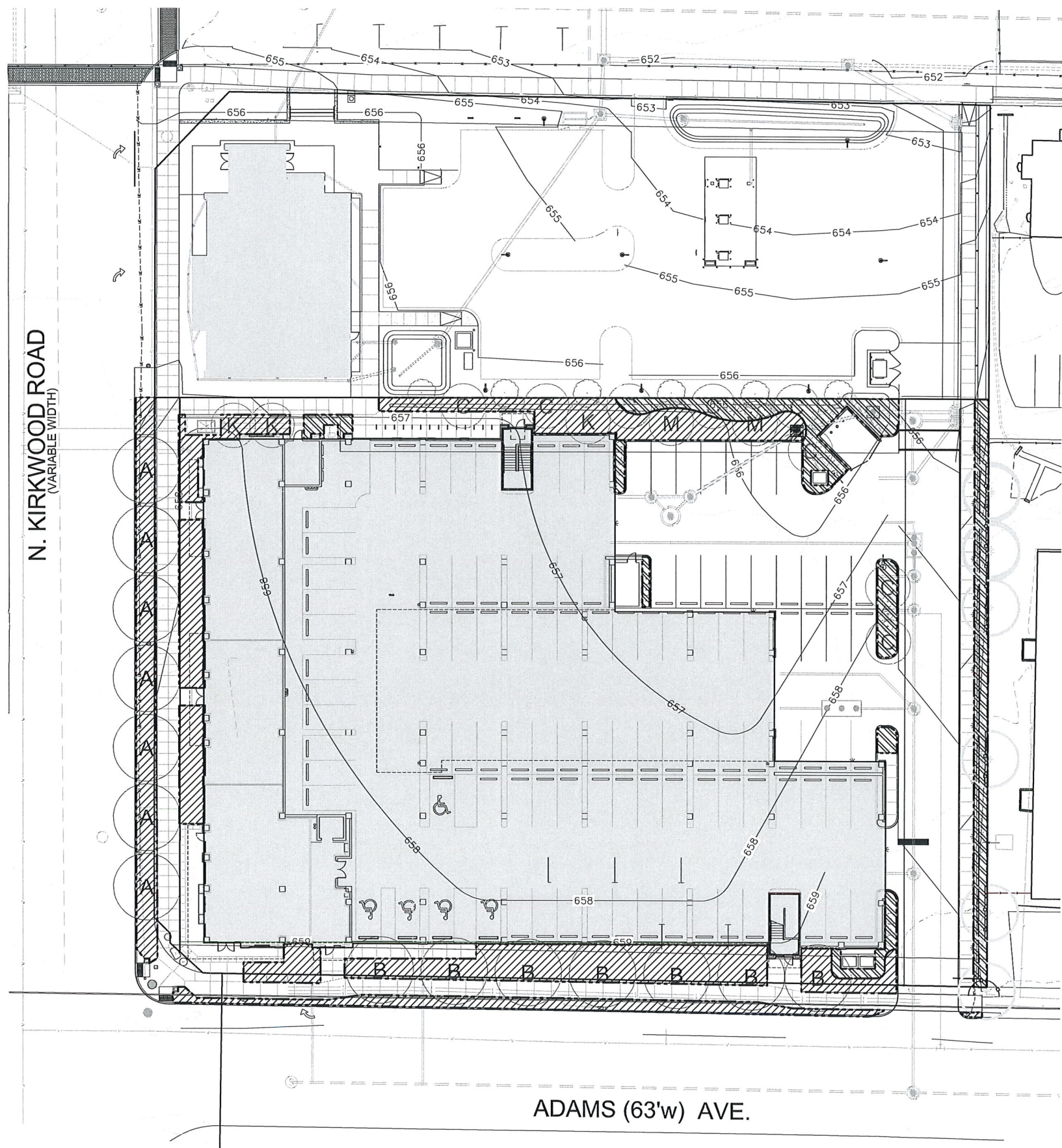
Date	Description	No.

Drawn: LWH
Checked: JAS

LOOMIS ASSOCIATES
landscape architects + planners
750 spirit 40 park drive, chesterfield, missouri 63005
t. 636-532-8668 www.loomis-associates.com

Loomis Associates Inc.
Missouri State Certificate of Authority #: LAC #000018

Sheet Title:	WATERING DIAGRAM
Sheet No.:	L201
Date:	4/28/23
Job #:	813.101



N. KIRKWOOD ROAD
(VARIABLE WIDTH)

ADAMS (63'w) AVE.

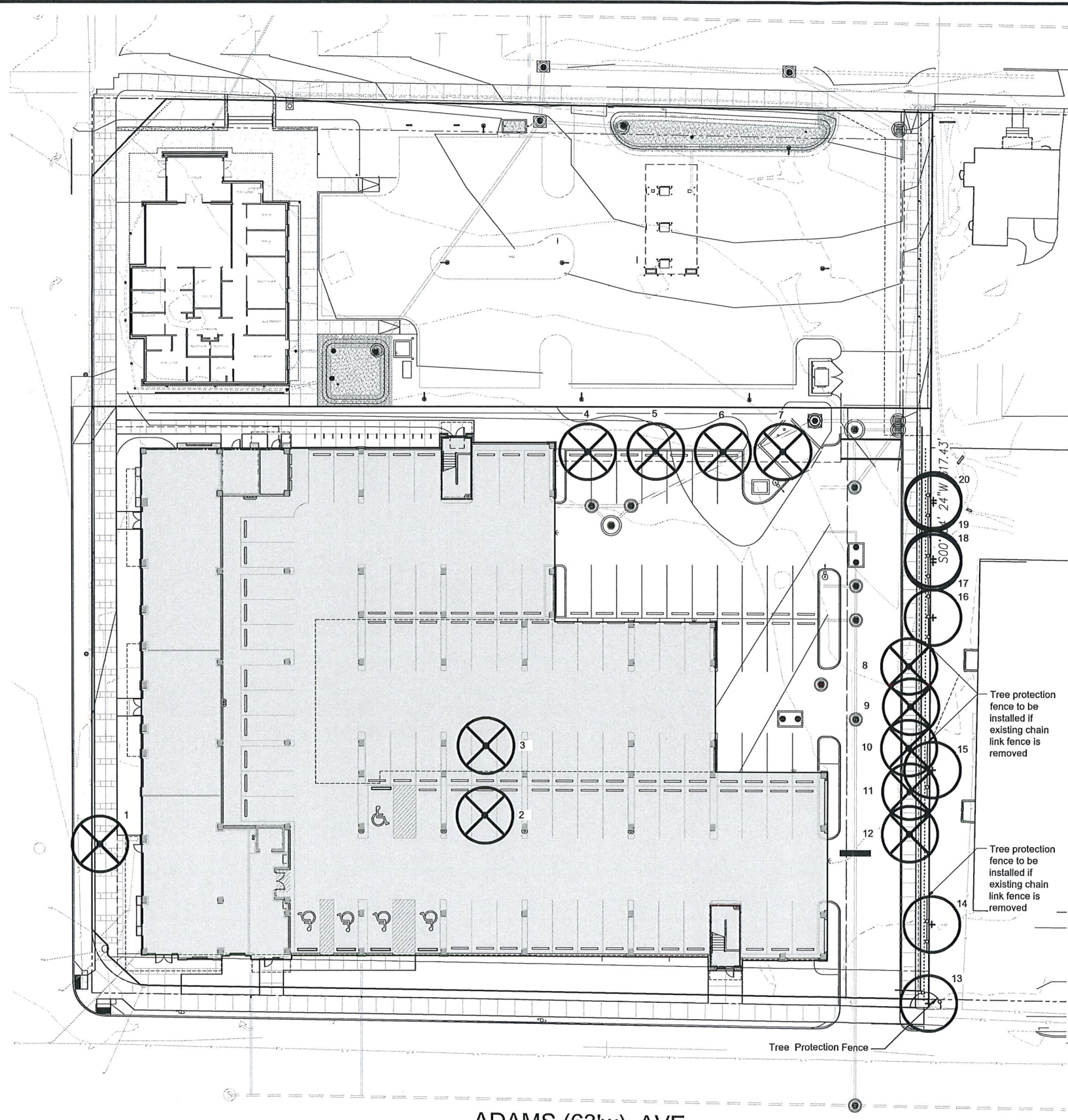
WATERING DIAGRAM
SCALE 1"=20'

Irrigation Notes:

- 1) Contractor to provide a design/build irrigation system. The contractor responsible for the design and performance of the system, based on this plan. Submit drawings of irrigation system and cut sheets of all irrigation equipment to Landscape Architect for approval prior to start of work.
- 2) Show all sleeve locations on shop drawing for review by Landscape Architect.
- 3) Irrigation contractor shall be responsible to obtain all permits required by state, city, and local authorities and conform to all codes regarding irrigation systems.
- 4) Civil and utility information shown for reference only. See Civil drawings and field locate utilities prior to start of work.
- 5) Irrigation contractor is responsible for coordination with Plumbing and Electrical Contractors.
- 6) Irrigation contractor shall coordinate watering requirements with Landscape Contractor to insure proper level of water is provided.
- 7) No spraying across pavement (Roadways and Sidewalks)
- 8) Main line and all valves to be located within property.

Key

- Proposed irrigated landscape beds: 100% coverage with 12" pop-up heads
- Proposed irrigated lawn areas: 100% coverage with 4" pop-up heads



ADAMS (63'w) AVE.



TREE STUDY & TREE PROTECTION PLAN

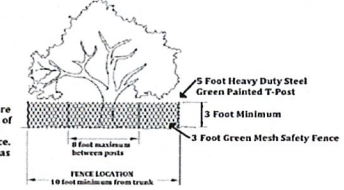
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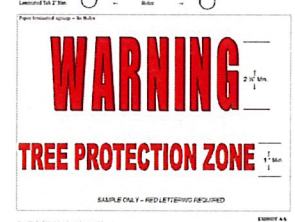
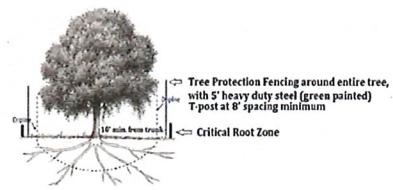
TREE PROTECTION FENCING

Revised August 2019

NOTE: 8.5' x 11" Warning signs are required on fencing a minimum of 20' intervals, with a minimum of one sign on each elevation of fence. Sign shall be moisture protected as in Exhibit A-5.



Distance from trunk shall be as shown in tree study or 10' minimum.



TREE PROTECTION SIGNAGE EXAMPLE

Tree Protection Notes:

- 1) Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- 2) Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- 3) No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- 4) Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing or disrupt the Protected Woodland Area except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- 5) Tree protection measures to be maintained throughout construction sequence.

Tree Protection Action Key Sequence:

- 1) Survey limit of disturbance.
- 2) Perform root pruning.
- 3) Install tree protection fencing.
- 4) Post tree protection signage on fence (No signs will be posted on trees).
- 5) Maintain tree protection area as an off-limits zone.

LEGEND:

SYMBOL	DESCRIPTION
⊕ ###	EXISTING INDIVIDUAL TREE TO PRESERVE
⊗ ###	EXISTING INDIVIDUAL TREE TO BE REMOVED
---	ROOT PRUNING
---	TREE PROTECTION FENCE

ID	Tree Name	DBH	Condition Rating	Comment	To Be Removed	Preserved
1	Red Oak	7	Good		X	
2	Bradford Pear	10	Fair		X	
3	Bradford Pear	9	Fair		X	
4	Bradford Pear	7	Fair		X	
5	Bradford Pear	6	Poor		X	
6	Bradford Pear	6	Fair		X	
7	Bradford Pear	5	Poor		X	
8	Scots Pine	12	Fair		X	
9	Scots Pine	6	Poor		X	
10	Scots Pine	10	Fair		X	
11	Scots Pine	12	Poor		X	
12	Scots Pine	6	Poor		X	
13	Shingle Oak	20	Poor	Adams ROW		X
14	Elm	17	Good	Offsite		X
15	Sweetgum	17	Good	Offsite		X
16	Shingle Oak	10	Fair	Offsite, broken branches		X
17	Hackberry	14	Fair	Offsite, lean		X
18	Hackberry	14	Fair	Offsite, lean		X
19	Catalpa	10	Poor	Offsite, lean, root cavity		X
20	Catalpa	8	Poor	Offsite, lean, root cavity		X

TREE CONDITION RATING:
 DEAD (0%)
 CRITICAL (10%-40%)
 POOR (40%-60%)
 FAIR (60%-80%)
 GOOD (80%-100%)

Tree Study Prepared under direction of:
 Kristin Province
 Certified Arborist MW-6075A

Kristin Province



Consultants:

KIRKWOOD APARTMENTS
 300 N. KIRKWOOD ROAD
 KIRKWOOD, MISSOURI

Revisions:

Date	Description	No.
9/9/22	City Comments	1

Drawn: LWH
 Checked: JAS

LOOMIS ASSOCIATES
 landscape architects + planners
 750 spirit 40 park drive, chesterfield, missouri 63005
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Loomis Associates Inc.
 Missouri State Certificate of Authority #: LAC #000019

Sheet Title:	TREE STUDY & PROTECTION PLAN
Sheet No.:	TS/TPP
Date:	09/02/22
Job #:	813.101

RESOLUTION 133-2022

A RESOLUTION APPROVING THE DEVELOPMENT PLAN FOR A MIXED-USE PROJECT IN THE B-2 ZONING DISTRICT LOCATED ON THE PROPERTY KNOWN AS 300 NORTH KIRKWOOD ROAD SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, Brian Maenner of Intrinsic Development, made application (PZ-03-23) for development plan approval to construct a mixed-use development located on the property known as 300 North Kirkwood Road; and

WHEREAS, the Planning and Zoning Commission did on the 7th day of September, 2022 by adopting the Subcommittee Report dated September 7, 2022 (attached hereto and incorporated by reference herein) recommend approval of the development plan after finding that the request met the development plan review criteria listed in Section 25-18(d) of the Zoning and Subdivision Code, subject to certain conditions; and

WHEREAS, on the 6th day of October, 2020, the City Council did hold a public hearing with respect to such development plan after duly advertising and giving proper notice of such hearing; and

WHEREAS, the Council does find that the approval of the development plan would meet the review criteria listed in Section 25-18(d) of the Zoning and Subdivision Code; and

WHEREAS, the Council does further find that the general welfare requires that such development plan be approved subject to the conditions hereinafter set out.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KIRKWOOD, MISSOURI, AS FOLLOWS:

SECTION 1. A development plan is hereby approved for a mixed-use development located on the property known as 300 North Kirkwood Road subject to the following conditions:

1. A final site plan shall be submitted for review within 12 months of approval of this development plan by the City Council and said plan shall be consistent with Development Plan Packet (11 sheets) prepared by Stock & Associates, PW Architects, and J-Squared Engineering stamped "Received September 2, 2022, City of Kirkwood Public Services Department", and the Tree Study/Protection Plan and Landscape Plan (2 sheets) prepared by Loomis and Associates stamped "Received September 26, 2022, City of Kirkwood Public Services Department".
2. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of final approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be

saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services.

3. Based on the desire of the City to continue the same treatment approved by City Council for the Commerce Bank site that provides better pedestrian access, a modification under Section 25-19(g) to the required Type C buffer in Section 25-60(b)(3) shall be approved to provide a 5'-wide sidewalk and an 8-foot high, black vinyl-coated chain link fence on the eastern property line with low-lying vegetation to be planted between the fence and the sidewalk.
4. A recorded cross-access easement for both vehicular and pedestrian access shall be required along the proposed eastern drive and the buffer area that will accommodate the requested sidewalk in this area to provide access across the site and toward Washington Avenue.
5. Tree protection fencing shall be installed and maintained in accordance with the Tree Study as designated on the Landscape Plan. Failure to maintain the tree-protection fencing during the demolition and construction activities shall authorize the Public Services Department to issue a stop work order for the grading, foundation, or building permit until the fencing is restored.
6. The applicant shall complete and submit the Complete Streets Checklist with the final site plan.
7. All proposed public sidewalks shall be constructed so that they are compliant with ADA/PROWAG and shall be exposed aggregate material. Public sidewalks and/or curbs shall be reconstructed at the developer's expense at the direction of the Public Services Department.
8. Storm water management plans for the proposed site plan shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.
9. Sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
10. The existing driveway entrance shall be removed and a new entrance into the development shall be constructed as directed by St. Louis County and the City, and the new entrance shall be constructed per St. Louis County specifications.
11. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the applicant shall install the necessary mains and accessories.

12. If applicable, proper ground disturbance permits through MDNR shall be obtained prior to issuance of permits from the City.
13. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
14. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of a building permit. These devices shall be maintained during the construction activities. Failure to maintain these devices authorizes the Public Services Department to issue a Stop Work Order for the building permit until such devices are restored.
15. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
16. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
17. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
18. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
19. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.

SECTION 2. The approval of this development plan shall not authorize any person to unreasonably alter, increase, or redirect the surface water run off so as to cause harm to any person or property.

SECTION 3. The premises and improvements as approved by this development plan shall be in good working order and maintained in good repair at all times.

SECTION 4. The applicant by accepting and acting under the development plan approval herein granted accepts the approval subject to the reservations, restrictions, and conditions set forth in the Code of Ordinances and in this resolution, and agrees to comply with each provision subject to the penalties prescribed under Section 1-8 of the Code of Ordinances in the event such provisions are not complied with.

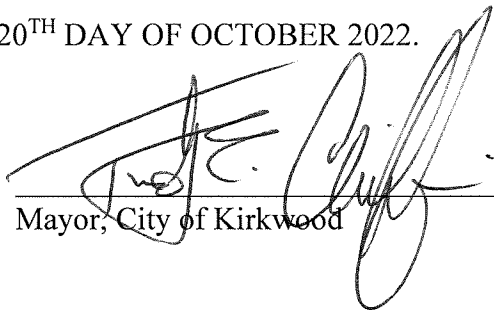
SECTION 5. The applicant further agrees by accepting and acting under this development plan approval herein granted that this resolution does not grant applicant any special rights, privileges, or immunities.

SECTION 6. This resolution shall become null and void in the event the petitioner does not submit a site plan application in accordance with Section 25-19 of the Zoning and Subdivision Code.

SECTION 7. The applicant and his successors and assigns by accepting and acting under the approval herein granted accepts the approval subject to the condition that failure to abate any violation of this approval or any provisions of the Code of Ordinances of the City of Kirkwood within five (5) days after notice by hand delivery or first-class mail shall result in an administrative investigation fee of \$500 due to the City of Kirkwood. An invoice shall be issued. A Stop Work Order to cease all work on the premises except such work as directed by the Public Services Director to abate the violation may be issued for any work on the premises until the investigation fee is paid in full. The City may demand payment of said fee from the holder of the letter of credit, any bond, or escrow if not paid within 30 days of the invoice.

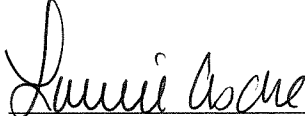
SECTION 8. This resolution shall be in full force and effect after its passage and approval, as provided by law.

PASSED AND APPROVED THIS 20TH DAY OF OCTOBER 2022.



Mayor, City of Kirkwood

ATTEST:



City Clerk
Public Hearing: October 6, 2022

**CITY OF KIRKWOOD
PLANNING AND ZONING COMMISSION
SUBCOMMITTEE REPORT
September 7, 2022**

PETITION NUMBER: PZ-03-23

ACTION REQUESTED: B-2, MIXED-USE DEVELOPMENT PLAN REVIEW

PROPERTY OWNERS: 300 KIRKWOOD, LLC

APPLICANT: BRIAN MAENNER, INTRINSIC DEVELOPMENT

PROPERTY LOCATION: 300 N. KIRKWOOD ROAD

ZONING: B-2, CENTRAL BUSINESS DISTRICT

DOCUMENTS SUBMITTED: DEVELOPMENT PLAN PACKET (13 SHEETS) PREPARED BY STOCK & ASSOCIATES, PW ARCHITECTS, J-SQUARED ENGINEERING, AND LOOMIS AND ASSOCIATES STAMPED "RECEIVED SEPTEMBER 2, 2022, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

KIRKWOOD APARTMENTS TRIP GENERATION MEMORANDUM PREPARED BY LOCHMUELLER GROUP STAMPED "AUGUST 16, 2022, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

PARKING ANALYSIS PREPARED BY STOCK & ASSOCIATES STAMPED "RECEIVED JULY 26, 2022, CITY OF KIRKWOOD PUBLIC SERVICES DEPARTMENT"

DESCRIPTION OF PROJECT:

The applicant is requesting approval of a proposed development plan according to the B-2, Mixed-use procedure set forth in Section 25-18 of the City's Zoning Code. The existing site is approximately 1.44 acres and currently consists of a stand-alone building for Commerce Bank. A new Commerce Bank building is under construction on the .74-acre lot immediately to the north. The proposed plan for this site includes demolition of the existing structure and construction of a 4-story, 94,051 square-foot, mixed-use building with 5,365 square feet of commercial space on the first floor along Kirkwood Road and 60 residential units on the top three floors. There will be structured and uncovered parking in the rear of the first floor. A swimming pool and amenities deck will be provided on the second level. The proposed plan includes one vehicular traffic access point on Adams Avenue with cross access to the Commerce Bank site to the north and to Washington Avenue. Additional detail of the proposed site plan is provided later in this report.

COMPREHENSIVE PLAN, LAND USE AND ZONING:

The site is designated as Downtown on the EnVision Kirkwood 2035 Future Land Use Map. Attached Residential (Duplexes/Townhomes/Apartments), Regional/Neighborhood Commercial, and

Regional/Neighborhood Office are listed in this land use category as appropriate development types. The mixed-use development is consistent with the development policies presented by the Comprehensive Plan.

The subject properties are currently zoned B-2, Central Business District, which allows for mixed-use buildings subject to certain requirements.

Surrounding land uses and zoning include the following:

- To the north: Directly adjacent, the property will be occupied by a bank, zoned B-2.
- To the south: Across Adams Avenue, the property is occupied by a church, zoned B-2.
- To the east: Directly adjacent to the subject site is an existing multi-family condominium building and the YMCA complex, both zoned R-5.
- To the west: Across Kirkwood Road, properties contain various commercial uses zoned B-2.

DEPARTMENTAL/AGENCY COMMENTS:

- Electric: No comments.
- Water:
 - 1. Construction plans shall show proposed water tap, service line size, material, and meter vault.
 - 2. Water service to be installed per City of Kirkwood and Water and Fire Service Specifications, and under the direct supervision of Kirkwood Water personnel.
- Engineering: No comments.
- Building/Fire: No comments.
- Forestry:
 - 1. The Zoning Code requires understory trees to be a minimum of 1.5 inches caliper.
 - 2. Due to the parking being partially structured, the planting of canopy trees in the exposed landscaping islands near the building will not be required. Current landscaping will be sufficient.
 - 3. Eastern property line vegetation buffering is sufficient with the proposed sidewalk as it matches the approved plan for the adjoining property to the north.

SITE ELEMENTS ANALYSIS:

Structure and Unit Density

The proposed structure has a maximum building height of 59.19 feet from the average finish grade to the highest point of the parapet wall for the flat roof in the southwest corner of the building. Although not requested for this proposal, the mixed-use development process allows for architectural features, like a parapet wall, to be permitted above the maximum 60-foot building height if approved as part of the site plan. In addition to the height in feet, the Zoning Code also restricts height to that which would create a floor area ratio (FAR) of 2.5. The FAR for this project is 1.50, not including the attached parking structure.

Within the Downtown Master Plan Study area, both Kirkwood Road and Adams Avenue are Phase I streets with a minimum front setback requirement of 0 feet and a maximum of 20 feet. The proposed structure is located 15.6' from the property line along Kirkwood Road, and approximately 10 feet from the property line along Adams Avenue for the eastern stairwell and 12.6 feet for the bulk of the building. The required structure setback from the eastern property line is 50% of the proposed building height, or not more than 29.6 feet in this case; the proposed structure is set back a minimum 36.7 feet. There is no required structure setback from the northern property line; the proposed structure is set back a minimum 10 feet for a stairwell and 12.5 feet for the bulk of the building,.

The Zoning Code also requires that the structure must be located within the required front setback range in order to be included in the minimum street frontage occupation requirement, which for the subject site on Phase I streets is 90%. The plans indicate that the proposed building occupies approximately 96% on both street frontages, excepting the required setback area from the eastern property line.

The maximum density allowed for multi-family developments within the Downtown Master Plan Study area is 43 dwelling units per acre, which would allow for 61 units on this property. The proposed plan includes 60 dwelling units.

Traffic & Site Access Management

Access to the enclosed and surface ground-level parking on the site is from a 22-foot wide drive aisle from Adams Avenue on the east side of the site with cross access to the Commerce Bank site to the north and on to Washington Avenue. At the recommendation of City Staff, the applicant provided a trip generation memorandum prepared by Lochmueller Group. The memo analyzed the anticipated trips that would be generated by the proposed development and concluded that the development is anticipated to generate 42 site trips in the a.m. peak hour and 63 site trips in the p.m. peak hour. Staff concludes the development would have minimal impact on the operating conditions at the adjacent intersections and would not warrant any roadway improvements to accommodate the proposed development. Because Adams Avenue is a St. Louis County maintained road, County approval will be required. The County provided initial comments that did not indicate any concern or requirement for improvements; however, they also requested City conceptual approval. Such approval will be forwarded to the County upon City Council approval of the plans.

Along Kirkwood Road, there is an 8-foot wide sidewalk on-site with an 8-foot wide tree-lawn in the right of way to match the treatment on the property to the north. Due to underground and overhead utility conflicts, and to St. Louis County's prohibition of trees in its controlled right-of-way, a 6-foot wide sidewalk shifts adjacent to the curb along Adams Avenue so that the required landscaping is still provided between the sidewalk and the building in a tree lawn of varying widths from 7 to 15 feet. A 5-foot wide sidewalk is provided along the north side of the building. On the east of the property, the applicant is proposing a modification to continue the same 5-foot wide sidewalk approved by City Council for the Commerce Bank site to allow continuous mid-block access from Adams Avenue to Washington Avenue. See modification section below.

Parking

The proposal includes a combination of surface and structured parking at ground level of the building with three open access points. There will be 110 parking stalls provided on the site. The parking regulations require 90 parking stalls for the residential portion of the development (1.5 spaces per dwelling unit) and 25 parking stalls for the proposed commercial development (which includes

restaurant space with the most restrictive parking rate of 1 space per 100 square feet of floor area). The Zoning Code does allow, however, for an up to 15% exclusion of the gross floor area for parking calculations for storage accessory to the principal use, restrooms, utility or maintenance areas, loading docks, and other areas incidental to the principal use. The Zoning Code also allows an application to include 5% less than the required parking without the need for an administrative waiver. Finally, the Zoning Code allows for a reduced number of parking spaces in a shared parking facility as in Table 65-4 as not all residential and commercial tenants will be utilizing the site at the same time. Based on these allowances, the site is required to have a maximum number of 108 parking spaces as demonstrated in in the parking analysis prepared by Stock & Associates. The parking analysis provided makes assumptions about the amount of square footage deducted for storage and other similar areas. Each tenant space will be evaluated at the time building permits are submitted for those specific spaces. While the proposed calculations with the referenced assumptions meet the Zoning Code, approval of this plan does not guarantee parking will be met if the assumptions are not realized. Ultimately, if the assumed deductions for lobbies, restrooms, etc. are not consistent with the end-users plans, this could mean that the mixture of uses might need to shift such that a higher parking rate (e.g. restaurant) would occupy a smaller space or shift to a use that requires less parking. It would not create scenario whereby a portion of the commercial space could not be occupied.

The Zoning Code requires 1 bicycle rack for every 6 dwelling units (10 racks), 1 for every 1,500 square feet of restaurant (1 rack), 1 for every 2,500 square feet of retail (1 rack), and 1 for every 5,000 square feet of office (1 rack) for a total of 13 racks. The applicant will provide 14 U-shaped racks immediately north of the building.

Landscaping

The applicant is requesting modification of the buffer landscaping in Section 25-60 along the eastern property line where 1 deciduous tree every 50 feet, 1 evergreen tree every 25 feet, and 1 shrub every 10 feet would have been required (see modification request section below). With the exception of this request, the remaining landscape requirements of Section 25-59 are exceeded. According to Staff's calculations, there are 5 canopy trees required along the western property line (7 will be provided in the right of way), 7 canopy trees required along the southern property line (8 will be provided), and no trees required along the northern property line because there is no required structure setback (8 will be provided). However, Staff believes the additional proposed trees are appropriate and encourages the retention of these trees. The dumpster enclosure will be screened on 3 sides by 9 evergreen shrubs and required trees are being provided at the ends of parking rows.

Lighting

The site photometric plan meets the City's lighting regulations. New City standard Valmont light fixtures will be provided in the Kirkwood Road right of way. The Lumiere 'F3' bollard fixture (downlight configuration) is proposed in order to match the illuminated bollards on the north adjacent property. The proposed matching Lumiere wallpack fixture 'WP3' has a standard adjustable mount, but must be used in a downlight orientation only.

Modification Request

The applicant is requesting a site plan modification in accordance with Zoning Code Section 25-19(g) for the required Type C buffering standard under Section 25-60(b)(3) that would require 10' of landscaping and a sound mitigating/sight-proof fence on the eastern property line. The treatment in this area would instead match what was requested by neighboring property owners and approved by City Council on the Commerce Bank site to the north: a 5'-wide public pedestrian walkway to provide an alternative

pedestrian path between Washington Avenue and Adams Avenue and an 8-foot high, black vinyl-coated chain link fence on the property line with low-lying vegetation to be planted between the fence and the sidewalk. In the adjacent development, this treatment was determined to provide a benefit for pedestrian access that exceeds the minimum requirements and warrants the modification.

DISCUSSION:

A Zoning Matters sign was placed on the property on August 12, 2022. The request was introduced at the Planning & Zoning Commission meeting on August 17, 2022. A subcommittee meeting was held on site on August 23, 2022. A list of attendees of the subcommittee meetings can be seen in Exhibit B. At the subcommittee meetings, the following items were discussed:

- 1) The subcommittee discussed pedestrian safety and access on the site. The subcommittee did not believe the limited number of pedestrian crossings of the 22'-wide drive aisle on the east side of the site warranted a striped crosswalk from the sidewalk to the parking lot. The subcommittee did request that the applicant explore the possibility of a continuation of the east/west oriented sidewalk on the north of the building to connect to the north/south sidewalk on the eastern edge of the property. (Post meeting note: the applicant was unable to make this request work and still maintain the greenspace and landscaping. The east/west sidewalk is for utility and bicycle rack access.)
- 2) The subcommittee requested that the applicant find a place for the historic Pitman school flagpole, plaque, and bench somewhere on site. (Post meeting note: The flagpole and plaque will be relocated to the Commerce Bank site and the bench offered to the family of the bench's honoree.)
- 3) The access road will connect both properties with no access gates.
- 4) The lighting on Kirkwood Road should be Valmont poles spaced every 100'.
- 5) The subcommittee found that modification for continuation of the eastern sidewalk and the powder-coated chain link fence as requested by neighbors and approved by City Council on the Commerce Bank site is appropriate and the subcommittee has included a recommendation for approval of the modification.
- 6) The subcommittee concluded that that the requirements of Development Plan review criteria in Section 25-18(d) have been met.

RECOMMENDATION:

The Subcommittee recommends that this application be **approved** with the following conditions:

1. A final site plan shall be submitted for review within 12 months of approval of this Development Plan by the City Council and said plan shall be consistent with the Development Plan documents referenced in the Documents Submitted portion of this report.
2. Based on the desire of the City to continue the same treatment approved by City Council for the Commerce Bank site that provides better pedestrian access, the modification to the required Type C buffer in Section 25-60(b)(3) shall be approved to provide a 5'-wide sidewalk and an 8-foot high, black vinyl-coated chain link fence on the eastern property line with low-lying vegetation to be planted between the fence and the sidewalk.
3. A recorded cross-access easement for both vehicular and pedestrian access shall be required along the proposed eastern drive and the buffer area that will accommodate the requested sidewalk in this area to provide access across the site and toward Washington Avenue.

4. A revised tree study and protection plan which includes all off-site trees within 10 feet of the property line shall be submitted for review and approval by the City Forester prior to approval by the City Council.
5. The applicant shall comply with all standard conditions as listed in Exhibit A.

Respectfully submitted,



James Diel



Sandy Washington

**EXHIBIT A
STANDARD CONDITIONS**

1. A performance guarantee in the form of a cash deposit or letter of credit in an amount approved by the Public Services Department and an administrative fee (10% of the first \$10,000 and 2% of the remaining balance of the performance guarantee) shall be submitted within one year of final development plan approval and prior to the issuance of a foundation letter or building permit to insure the completion of the proposed improvements, utilities and landscaping; to replace public improvements damaged by construction activities (sidewalks, curbs, etc.); and to guarantee significant trees designated to be saved. The letter of credit shall be in effect for a minimum of two years and may be extended in minimum six-month intervals as approved by the Department of Public Services.
2. All proposed public sidewalks shall be constructed so that they are compliant with ADA/PROWAG and shall be exposed aggregate material. Public sidewalks and/or curbs shall be reconstructed at the developer's expense at the direction of the Public Services Department.
3. Storm water management plans for the proposed site plan shall be submitted to Metropolitan Sewer District (MSD) and City for review and approval prior to the issuance of a grading, foundation or building permit. Storm water greater than one c.f.s. shall not be directed across the public sidewalk or driveway entrances.
4. Sanitary sewer plan shall be approved by MSD prior to the issuance of a foundation letter or building permit.
5. The existing driveway entrance shall be removed and a new entrance into the development shall be constructed per St. Louis County specifications.
6. The water system shall meet the requirements of the Kirkwood Fire and Water Departments. The Fire Department shall approve the water flow for the project. If satisfactory water flow is not available from the existing water system in accordance with City policy, the applicant shall install the necessary mains and accessories.
7. If applicable, proper ground disturbance permits through MDNR shall be obtained prior to issuance of permits from the City.
8. If applicable, a grading permit shall be obtained from the Public Services Department in accordance with the Kirkwood Code of Ordinances prior to any grading on the site. The grading permit shall include a grading plan in accordance with the Code of Ordinances.
9. Erosion and sediment control devices shall be sufficient to protect all off-site property from siltation and shall be installed prior to beginning of any grading or construction. The siltation control measures shall be installed and approved by the Public Services Department prior to issuance of a building permit. These devices shall be maintained during the construction activities.

10. During excavation and construction activities, the area of the site that is disturbed for this project shall be fully enclosed by a 6-foot high chain link fence to prevent the entry of unauthorized persons. The gate for the fence shall be locked during non-working hours.
11. No parking of construction trailers, material storage, equipment storage or construction equipment is authorized on the public streets at any time.
12. All rooftop equipment, air-conditioning units and mechanical equipment shall be completely screened from view of adjoining properties and public right-of-way.
13. An accessible route in compliance with ADA standards shall be provided from the proposed accessible parking spaces to the accessible entrance of the building.
14. The Architectural Review Board shall approve all signs and building architecture prior to the issuance of any building permits.

EXHIBIT B
Subcommittee Meetings Attendees

P&Z Subcommittee Meeting

Project:

PZ-3-23 KWD APTS, B-2 MIXED USE

Date:

8-23-22

Location:

300 N. KIRKWOOD RD

Name	Organization
Brian Maenner	300 N. Kirkwood LLC
Sandy Washington	P & Z
ERIK MILLER	P&Z Architects, Inc.
JAMES DIEZ	P AND Z
CHRIS KRUEGER	CITY OF KIRKWOOD
Jack Schenck	City of Kirkwood
Kori Thompson	Downtown Kirkwood SBD
Joe Fischer	Stock & Associates
Amy Lowry	City of Kirkwood